

**PB# 99-34**

**Getty Station-Rt.94**

**65-2-32**

Approved 6-14-00

U. S. DEPT. OF AGRICULTURE



Sent P. N. Request  
12/9/99

5/12/2000 Called for Rachel Mayo to finalize this project.  
She no longer works there - spoke to Dainius Verbickas -  
he will complete the project.

cm

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 06/15/2000

PAGE: 1

LISTING OF PLANNING BOARD ACTIONS

STAGE:

STATUS [Open, Withd]  
A [Disap, Appr]

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94  
APPLICANT: LEEMILT'S PETROLEUM

--DATE--	MEETING-PURPOSE-----	ACTION-TAKEN-----
06/14/2000	PLANS STAMPED	APPROVED
01/12/2000	P.B. APPEARANCE - PUB HEAR . MARK TO REVIEW BOND	ND:CL PH APPR SUB TO
12/08/1999	P.B. APPEARANCE . ADD SOME LIGHTING - CHANGE GRAVEL AREA TO GRASS - ADD SOME . LANDSCAPING AT CORNER - ADDRESS MARK'S COMMENTS	REVISE & RET
10/06/1999	WORK SESSION APPEARANCE	SUBMIT
08/18/1999	WORK SESSION APPEARANCE	RET TO WS

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 06/15/2000

PAGE: 1

LISTING OF PLANNING BOARD SEQRA ACTIONS

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94

APPLICANT: LEEMILT'S PETROLEUM

	DATE-SENT	ACTION-----	DATE-RECD	RESPONSE-----
ORIG	12/02/1999	EAF SUBMITTED	12/02/1999	WITH APPLIC
ORIG	12/02/1999	CIRCULATE TO INVOLVED AGENCIES	/ /	
ORIG	12/02/1999	LEAD AGENCY DECLARED	12/08/1999	TOOK LA
ORIG	12/02/1999	DECLARATION (POS/NEG)	01/12/2000	DECL. NEG DEC
ORIG	12/02/1999	SCHEDULE PUBLIC HEARING . SCHEDULED FOR 1/12/00	12/08/1999	SCH PH
ORIG	12/02/1999	PUBLIC HEARING HELD	01/12/2000	CLOSED PH
ORIG	12/02/1999	WAIVE PUBLIC HEARING	/ /	
ORIG	12/02/1999	AGRICULTURAL NOTICES	/ /	

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 01/12/2000

PAGE: 1

LISTING OF PLANNING BOARD **AGENCY APPROVALS**

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94  
APPLICANT: LEEMILT'S PETROLEUM

	DATE-SENT	AGENCY-----	DATE-RECD	RESPONSE-----
ORIG	12/02/1999	MUNICIPAL HIGHWAY	12/03/1999	APPROVED
ORIG	12/02/1999	MUNICIPAL WATER	12/07/1999	APPROVED
ORIG	12/02/1999	MUNICIPAL SEWER	12/29/1999	APPROVED
ORIG	12/02/1999	MUNICIPAL FIRE	12/02/1999	APPROVED
ORIG	12/02/1999	NYS DOT	/ /	

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 06/13/2000

PAGE: 1

LISTING OF PLANNING BOARD FEES  
ESCROW

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94  
APPLICANT: LEEMILT'S PETROLEUM

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/02/1999	REC. CK. #3006547	PAID		750.00	
12/08/1999	P.B. ATTY. FEE	CHG	35.00		
12/08/1999	P.B. MINUTES	CHG	36.00		
01/12/2000	P.B. ATTY FEE	CHG	35.00		
01/12/2000	P.B. MINUTES	CHG	18.00		
05/10/2000	P.B. ENG. FEES	CHG	496.00		
05/24/2000	RET. TO APPLICANT	CHG	130.00		
		TOTAL:	750.00	750.00	0.00

Please issue a check in  
the amount of \$130.00 to:

*Eastern Engineering, P.C. (a Division of Tyree)*  
125 Commerce Drive  
Brookfield, CT 06804

*MURR*  
CHECK WGT TO  
TYREE CORP. LTD OF 5.25.00  
OAR CK # 3299  
JH

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 06/13/2000

PAGE: 1

LISTING OF PLANNING BOARD FEES  
ESCROW

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94

APPLICANT: LEEMILT'S PETROLEUM

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/02/1999	REC. CK. #3006547	PAID		750.00	
12/08/1999	P.B. ATTY. FEE	CHG	35.00		
12/08/1999	P.B. MINUTES	CHG	36.00		
01/12/2000	P.B. ATTY FEE	CHG	35.00		
01/12/2000	P.B. MINUTES	CHG	18.00		
05/10/2000	P.B. ENG. FEES	CHG	496.00		
05/24/2000	RET. TO APPLICANT	CHG	130.00		
		TOTAL:	750.00	750.00	0.00

6/13/00

Gave to L.R. to Double check if this  
had been Returned.

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/25/2000

PAGE: 1

LISTING OF PLANNING BOARD **FEES**  
**4% FEE**

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94  
APPLICANT: LEEMILT'S PETROLEUM

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/10/2000	2% OF COST EST. \$11,206.0	CHG	224.12		
05/24/2000	REC. CK. #3100081	PAID		224.12	
		TOTAL:	224.12	224.12	0.00





RESULTS OF P. MEETING OF: January 12, 2000

PROJECT: Yethy - S.P.

P.B.# 99-34

Public  
Hearing

LEAD AGENCY:

**NEGATIVE DEC:**

1. AUTHORIZE COORD LETTER: Y\_\_\_ N\_\_\_

M) M S) R VOTE: A 5 N    

2. TAKE LEAD AGENCY: Y\_\_\_N\_\_\_

CARRIED: YES ✓ NO     

M)\_\_\_S)\_\_\_ VOTE: A\_\_\_N\_\_\_

CARRIED: YES NO

WAIVE PUBLIC HEARING: M)\_\_\_S)\_\_\_ VOTE: A\_\_\_N\_\_\_ WAIVED: Y\_\_\_N\_\_\_

SCHEDULE P.H. Y\_\_\_N\_\_\_

SEND TO O.C. PLANNING: Y

OPEN P/H VOTE A 5  
CLOSE P/H  
NO ONE SHOWED

SEND TO DEPT. OF TRANSPORTATION: Y\_\_

REFER TO Z.B.A.: M)      S)      VOTE: A      N     

RETURN TO WORK SHOP: YES NO

APPROVAL:

M) J S) M VOTE: A 5 N      APPROVED: ✓

M) ☒ S) ☐ VOTE: A ☐ N ☐ APPROVED CONDITIONALLY: ☐

NEED NEW PLANS: Y      N

**DISCUSSION/APPROVAL CONDITIONS:**

MARK TO REVIEW BOND

Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553  
(814) 563-4611

**RECEIPT**  
**#399-2000**

05/25/2000

Organization, L T D The Tyree

Received \$ 100.00 for Planning Board Fees, on 05/25/2000. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Dorothy H. Hansen  
Town Clerk

P.B # 99-34

ck # 3100082

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/25/2000

PAGE: 1

LISTING OF PLANNING BOARD **FEES**  
**APPROVAL**

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94  
APPLICANT: LEEMILT'S PETROLEUM

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/10/2000	P.B. APPROVAL FEE	CHG	100.00		
05/24/2000	REC. CK. #3100082	PAID		100.00	
			-----	-----	-----
		TOTAL:	100.00	100.00	0.00

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/12/2000

PAGE: 1

LISTING OF PLANNING BOARD FEES  
APPROVAL

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94  
APPLICANT: LEEMILT'S PETROLEUM

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/10/2000	P.B. APPROVAL FEE	CHG	100.00		
			-----	-----	-----
		TOTAL:	100.00	0.00	100.00

*Approval Fee*

*Need Check #1:*

*Payable to the Town of New Windsor*

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/12/2000

PAGE: 1

LISTING OF PLANNING BOARD FEES  
4% FEE

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94  
APPLICANT: LEEMILT'S PETROLEUM

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
05/10/2000	2% OF COST EST. \$11,206.0	CHG	224.12		
			-----	-----	-----
		TOTAL:	224.12	0.00	224.12

*Inspection Fee  
Check #2:*

*Payable to Town of New Windsor*

PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 05/12/2000

PAGE: 1

LISTING OF PLANNING BOARD FEES  
ESCROW

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94  
APPLICANT: LEEMILT'S PETROLEUM

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/02/1999	REC. CK. #3006547	PAID		750.00	
12/08/1999	P.B. ATTY. FEE	CHG	35.00		
12/08/1999	P.B. MINUTES	CHG	36.00		
01/12/2000	P.B. ATTY FEE	CHG	35.00		
01/12/2000	P.B. MINUTES	CHG	18.00		
05/10/2000	P.B. ENG. FEES	CHG	496.00		
		TOTAL:	620.00	750.00	-130.00

*Will be returned to Tyree*

AS OF 05/10/2000

PAGE 1

## CHRONOLOGICAL JOB STATUS REPORT

JOB: 87 5r

NEW WINDSOR PLANNING BOARD (Chargeable to Applicant)

CLIENT NEWWIN TOWN OF NEW WINDSOR

TASK: 99-34

FOR WORK DONE PRIOR TO: 05/10/2000

TASK NO	REC	DATE	TRAN	EMPL	ACT DESCRIPTION	RATE	HRS.	TIME	DOLLARS		
									EXP.	BILLED	BALANCE
99-34	146519	08/18/99	TIME	MJE	WS GETTY BG TURNPIKE	75.00	0.40	30.00			
99-34	146521	10/06/99	TIME	MJE	MC GETTY W/PULLAR	75.00	0.30	22.50			
99-34	146525	10/06/99	TIME	MJE	WS GETTY SITE PLAN	75.00	0.40	30.00			
99-34	146537	10/08/99	TIME	MJE	FI RVW SITE W/PULLAR	75.00	0.70	52.50			
99-34	146538	10/08/99	TIME	MJE	MC GETTY REQ'S W/TYREE	75.00	0.30	22.50			
99-34	146586	10/19/99	TIME	MJE	MC TC/TYREE RE: CLTGO	75.00	0.30	22.50			
99-34	146589	10/19/99	TIME	MJE	MC GETTY PLN RVW/HKY	75.00	0.30	22.50			
99-34	147591	10/21/99	TIME	MJE	MC TC/TYREE RE: CLTGO	75.00	0.30	22.50			
99-34	150511	12/07/99	TIME	MCK	CL GETTY S/P TRC	28.00	0.50	14.00			
99-34	150791	12/07/99	TIME	MJE	MC GETTY S/P	75.00	0.70	52.50			
99-34	151080	12/17/99	TIME	MJE	MC GETTY W/TYREE	75.00	0.30	22.50			
								314.00			
99-34	151062	12/17/99			BILL 99-1198					291.50	
										-291.50	
99-34	153629	01/12/00	TIME	MJE	MC GETTY W/TYREE	80.00	0.30	24.00			
99-34	153641	01/12/00	TIME	MJE	MC GETTY SITE PLAN	80.00	0.50	40.00			
99-34	153678	01/12/00	TIME	SAS	CL GETTY PB RVW COMMENT	28.00	0.50	14.00			
99-34	153864	01/12/00	TIME	MJE	MM GETTY S/P Appd	80.00	0.10	8.00			
99-34	153644	01/13/00	TIME	MJE	MC GETTY W/TYREE	80.00	0.30	24.00			
99-34	153645	01/13/00	TIME	MJE	MC GETTY COST LST RVW	80.00	0.50	40.00			
99-34	155083	01/31/00	TIME	MJE	MC GETTY CST EST/MEMO	80.00	0.40	32.00			
								182.00			
99-34	155609	02/15/00			BILL 00-226 2/15/00					-204.50	
										-204.50	
					TASK TOTAL		496.00	0.00	-496.00	0.00	
					GRAND TOTAL		496.00	0.00	-496.00	0.00	

203-740-9444

# Eastern Engineering P.C.

Civil, Environmental and Municipal Engineers • Project Managers • Site Planners • Permit Expeditors  
125 Commerce Drive, Brookfield, CT 06804 • Phone: 203-740-9280 • Fax: 203-740-9444

## BOND ESTIMATE

### PROPOSED SITE IMPROVEMENTS

GETTY 800 Blooming Grove Tnpk  
New Windsor, NY  
(99-34)


• Concrete Sidewalk	125 LF	=	\$2,777.00
• Concrete Curbing	90 LF	=	\$1,350.00
• Junipers (20)		=	\$ 500.00
• Seal Coating	7900 SF	=	\$1,097.00
• Parking Stripping	9 spaces	=	\$ 72.00
	Handicapped w/sign	=	\$ 125.00
	Painted Island	=	\$ 200.00
• Topsoil & Seeding	7000 SF	=	\$1,555.00
• Trash Enclosure	Block w/chain link gate	=	\$1,500.00

#### Additional:

• Concrete Curb along Forge Hill Road	65 LF	=	\$1,170.00
• Pavement along Forge Hill Road	65 LF	=	\$ 260.00
• Site Lighting	2 Fixtures	=	\$ 600.00

\$ 11,206

\$ 224.12

Member  
 Tyree  
Organization

D99205

TOTAL P.02





**McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.**

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

Licensed in NEW YORK, NEW JERSEY  
and PENNSYLVANIA

- ☐ **Main Office**  
45 Quassaick Ave. (Route 9W)  
New Windsor, New York 12553  
(914) 562-8640  
e-mail: mheny@att.net
- ☐ **Regional Office**  
507 Broad Street  
Milford, Pennsylvania 18337  
(570) 296-2765  
e-mail: mhepa@ptd.net

**TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS**

**REVIEW NAME:** GETTY SITE PLAN  
**PROJECT LOCATION:** NYS ROUTE 94 AND OLD FORGE HILL ROAD  
SECTION 65 – BLOCK 2 – LOT 32  
**PROJECT NUMBER:** 99-34  
**DATE:** 12 JANURAY 2000  
**DESCRIPTION:** THE APPLICATION PROPOSES THE CONVERSION OF THE  
EXISTING AUTOMOBILE SERVICE STATION TO A CONVENIENT  
STORE. THE GAS FILLING ISLAND IS TO REMAIN. THE PLAN  
WAS PREVIOUSLY REVIEWED AT THE 8 DECEMBER 1999  
PLANNING BOARD MEETING. THE APPLICATION IS BEFORE THE  
BOARD FOR A PUBLIC HEARING AT THIS MEETING.

1. This use is a pre-existing, non-conforming use in the R-4 Zone. The existing use also includes an existing Special Permit Use.
2. The Applicant's Engineer has addressed all previous technical comments from this Engineer and the comments from the Planning Board at the 8 December 1999 Planning Board meeting. I am aware of no outstanding issues with regard to this plan.
3. The Planning Board may wish to make a **determination** regarding the type action this project should be classified under SEQRA and make a determination regarding environmental significance.
4. The Planning Board should require that a **bond** estimate be submitted for this **Site Plan** in accordance with Paragraph A(1)(g) of Chapter 19 of the Town Code.

Respectfully submitted,

Mark J. Edsall, P.E.  
Planning Board Engineer

MJesh

Getty.sh

GETTY PETROLEUM CORP. SITE PLAN (99-34)

Ms. Mayo appeared before the board for this proposal.

MR. PETRO: This application proposes conversion of the existing automobile service station to a convenient store, the gas filling island is to remain, the plan was previously reviewed at the 8 December, 1999 planning board meeting. This application was before the board for a public hearing at this meeting. Okay.

MS. MAYO: Per the request of the board at the last meeting, we've made the adjustments required, we have installed two 12 pack lighting units in the front of the building to provide more lighting for the area for the customers to park and we have added a small landscaped area at the front corner near the intersection to provide limited landscaping per the request. We have outlined on the plan that the existing gravel area was to be top soiled and seeded and I believe those were the only three comments from the last hearing.

MR. EDSALL: They have also added that, the dumpster will be painted to match the building.

MS. MAYO: It's going to be the split face block on the rear and sides to match the existing building color.

MR. LANDER: Is there a detail?

MS. MAYO: Yes, on the plans, I believe it's on the last sheet, second to last sheet.

MR. PETRO: Any further comments? Let's open it up to the public and see because we're pretty well along. At this time, I'd like to open it up to the public for a public hearing for the Getty site plan on Route 94. On December 21, 1999, 10 addressed envelopes did go out. If anyone is here who would like to speak on behalf of the application, please be recognized by the Chair, come forward with your name and address. Anyone here like to speak? Let the minutes reflect that no one has come forth, nobody's here for the public hearing so I'll entertain a motion for the New Windsor Planning

Board to close the meeting.

MR. LUCAS: Make the motion.

MR. ARGENIO: Second it.

MR. PETRO: Motion's been made and seconded that the New Windsor Planning Board close the public hearing for the Getty site plan. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: We have highway approval on 12/3/99 and fire approval on 12/2/99. Once again, the planning board should require that a bond estimate be submitted for the site plan in accordance with paragraph A 1-G, Chapter 19 of the Town Code. You can hand that over to Mr. Edsall. Number 3, gentlemen, if anyone?

MR. ARGENIO: I have one question, Mark, they have indicated proposed non-slip surface in the unloading area for the handicapped, is that a new ADA requirement?

MR. EDSALL: I don't believe it's an ADA requirement, might just be a finish. I've seen it on access walkways.

MR. ARGENIO: Ramps and such?

MR. EDSALL: I haven't seen it applied to across hatched area. I imagine they could do something with the paving, the application of the paving, it's not a requirement, so as long as they have the cross striped area.

MR. ARGENIO: I was just curious.

MR. LUCAS: What's the material?

MR. ARGENIO: I assume it's bituminous concrete with a coating of some sort on it. Ronny, did you know?

MS. MAYO: It's not concrete, it's an asphalt.

MR. ARGENIO: Bituminous concrete, that's blacktop.

MR. PETRO: Nothing's been changed?

MS. MAYO: Nothing at all.

MR. LUCAS: Structurally, nothing's changed.

MS. MAYO: It's just interior work and the site requirements were addressed for the requirement from the building code or from the--

MR. ARGENIO: I think they have covered pretty much everything we talked about.

MR. LANDER: Is that an existing sidewalk or is that new?

MS. MAYO: In front of the building or the property?

MR. PETRO: Building.

MS. MAYO: Front of the building is going to be a new handicapped accessible access to the building.

MR. LANDER: They are not going to park up to the sidewalk, so five foot is sufficient.

MS. MAYO: No, that's the code requirement.

MR. PETRO: All right, gentlemen, number 3?

MR. LUCAS: Make a motion we waive public hearing.

MR. PETRO: Negative dec.

MR. LUCAS: Negative dec.

MR. LANDER: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board declare negative dec for the Getty site plan. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: I don't think there's a thing left on the site plan. Go directly to final.

MR. LUCAS: Only thing I don't see is a flag pole, though, it's not required, sometimes we like to put a flag pole.

MR. ARGENIO: Motion we grant final approval for the Getty site plan on New York State Route 9W 4.

MR. LUCAS: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board grant final approval to the Getty site plan with once again bond estimate being submitted, looks like you've already done that. Is there any further discussion? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LUCAS	AYE
MR. LANDER	AYE
MR. PETRO	AYE

State of New York

County of Orange, ss:

Steven Smith being duly sworn

disposes and says that he is

Vice President of the E.W. Smith

Publishing Company; Inc. publisher

of The Sentinel, a weekly newspaper

published and of general circulation

in the Town of New Windsor, Town of

Newburgh and City of Newburgh and

that the notice of which the annexed is

a true copy was published once

in said newspaper, commencing on

the 24 day of Dec. A.D., 1999

and ending on the 24 day of December

A.D. 1999 *Steve W. Smith*

**LEGAL NOTICE**

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on January 12, 2000 at 7:30 P.M. on the approval of the proposed Site Plan (Site Plan)\* OF Leemilt's Petroleum Inc. (Getty) Sec. 65-Block 2-Lot 32 located 800 Blooming Grove TnPk.

Map of the (Site Plan) \* is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, N.Y. prior to the Public Hearing.

By Order of  
TOWN OF NEW WINDSOR  
PLANNING BOARD  
James R. Petro, Jr.  
Chairman  
Dated: 12/16/99

Subscribed and shown to before me

this 28 day of Dec., 19 99.

*Mary E. Fordenbacher*

Notary Public of the State of New York

County of Orange.

MARY E. FORDENBACHER  
Notary Public, State of NY  
Residing in Orange County  
No. 4718013

My commission expires 2-28-00

-----X  
In the Matter of Application for Site Plan/Subdivision of  
Little Site Plan (99-34),  
Applicant.

.....X

AFFIMAIL.PLB - DISC#1 P.3.



# Town of New Windsor

555 Union Avenue  
New Windsor, New York 12553  
Telephone: (914) 563-4631  
Fax: (914) 563-4693

## Assessors Office

December 9, 1999

Getty Station  
Route 94 & Old Forge Hill Road  
New Windsor, NY 12553

Re: 65-2-32 - Leemilts Petroleum, Inc.

Dear Rachel Mayo:

According to our records, the attached list of property owners are abutting to the above referenced property.

The charge for this service is \$25.00, minus your deposit of \$25.00

There is no further balance due.

Sincerely,

Leslie Cook  
Sole Assessor

/lrd  
Attachments

CC: Myra Mason, PB



State of NY\*

C/o Palisades Interstate Park Commission  
Attn: Anne Lubanty  
Administration Building  
Bear Mountain, NY 10911 ✓

The Order of St Helena  
P.O. Box 426  
Vails Gate, NY 12584 ✓

Newburgh Church of Christ  
P.O. Box 371  
Vails Gate, NY 12584 ✓

Tower Management Financing Partnership  
680 Kinderkamack Road  
River Edge, NJ 07661 ✓

Kingswood Gardens  
Mr. Bill Slack  
Chairman of the Board of Directors  
810 Blooming Grove Turnpike Unit 114  
New Windsor, NY 12553 ✓

George J. Meyers, Supervisor  
Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553 ✓

Dorothy H. Hansen, Town Clerk  
Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553 ✓

Andrew Krieger, Esq.  
219 Quassaick Avenue  
New Windsor, NY 12553 ✓

James R. Petro, Chairman  
Planning Board  
555 Union Avenue  
New Windsor, NY 12553 ✓

Mark J. Edsall, P.E.  
McGoey and Hauser  
Consulting Engineers, P.C.  
45 Quassaick Avenue  
New Windsor, NY 12553 ✓

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on

JANUARY 12 <sup>2000</sup>~~1999~~ at 7:30 P.M. on the approval of the proposed SITE PLAN (~~Subdivision of Lands~~)\*

(Site Plan)\* OF LEEMILT'S PETROLEUM INC (GETTY) SEC 65-BLOCK 2 -  
800 BLOOMING GROVE TWP LOT 32

Map of the (~~Subdivision of Lands~~)(Site Plan)\* is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, N.Y. prior to the Public Hearing.

Dated: 12/16/99

By Order of

TOWN OF NEW WINDSOR PLANNING BOARD

James R. Petro, Jr.

Chairman

---

NOTES TO APPLICANT:

- 1). \*Select Applicable Item.
- 2). A completed copy of this Notice must be approved prior to publication in The Sentinel.
- 3). The cost and responsibility for publication of this Notice is fully the Applicants.

# LEGAL NOTICES \* LEGAL NOTIC

## LEGAL NOTICE

me of the limited liability company: um, LLC. Articles of Organization filed with the NY Secretary of State: t 3, 1999. The office of Chatham, s to be located in Orange County. he NY Secretary of State is design- as agent of Chatham, LLC upon process against it may be served e Secretary of State shall mail a copy y process against Chatham, LLC l upon him or her to c/o Richard son 22 Howard Street, Cornwall, 2528 and said address is also the s of the registered agent of am, LLC upon whom process may e served. The latest date on which am, LLC is to dissolve is January 1, The business of Chatham, LLC is to acquisition, sale and leasing of real

## NOTICE OF FILING OF THE CERTIFICATE OF CONVERSION OF PARTNERSHIP TO NEWLY FORMED DOMESTIC LIMITED LIABILITY COMPANY

## CERTIFICATE OF CONVERSION OF ODGSON FARMS TO ODGSON FARMS, LLC

der Section 1006 of the Limited Li- Company Law  
The name of the limited company ODGSON FARMS, LLC (the " )

The Certificate of Conversion of the was filed with the New York Secret- f State's office on October 22, 1999. The county within this state in which fice of the LLC is to be located is: e County.

The secretary of state is designated out of the LLC upon whom process st it may be served. The post office es within or without this state to a the secretary of state shall mail a of any process against the LLC d upon him is: c/o Richard Hodgson, ulendorf Drive, Newburgh, New , 12550.

The business and purposes of the are to own, develop, maintain, oper- ease, mortgage or otherwise dispose encumber real and personal property improvements thereon, to borrow and issue evidences of indebted- and to secure the same by mortgage, of trust, pledge or other security ins- in furtherance of the business of the and to perform any and all other act- gs which may be necessary, inci- l or convenient to carry out all of the ss of the LLC.

## LEGAL NOTICE

Notice of Formation of Limited Liability

dresses of all general partners is available from the SSNY. A copy of the certificate of limited partnership is on file with the Secretary of State, Corporations Division, Suite 315, West Tower, 2 Martin Luther King Jr. Drive, Atlanta, Georgia 30334-1530. Purpose of the Limited Partnership: All lawful activities.

## LEGAL NOTICE

Notice of formation of limited liability company (LLC). Name: Goddard Development Partners, LLC. Articles of Organization filed with Secretary of State of New York (SSNY) on 10/28/99. Office location: Orange County. SSNY designated as agent of LLC upon whom process against it may be served. SSNY shall mail copy of process to: 1 Siena Lane, New Windsor, NY 12553 Attn: Goddard. Purpose: The primary purpose of the Company is to acquire, lease, develop, finance, own, operate, and/or sell income producing real estate and to engage in any and all activities related to incidental to such primary purpose.

## LEGAL NOTICE

1. THE CERTIFICATE OF LIMITED PARTNERSHIP FOR THE DISTEFANO LIMITED PARTNERSHIP WAS FILED WITH THE SECRETARY OF STATE ON NOVEMBER 11, 1999.  
2. THE OFFICE OF THE PARTNERSHIP WILL BE LOCATED IN ORANGE COUNTY, NEW YORK.  
3. THE SECRETARY OF STATE HAS BEEN DESIGNATED AS AGENT OF THE PARTNERSHIP UPON WHOM PROCESS MAY BE SERVED.  
4. THE REGISTERED AGENT AND OFFICE OF THE PARTNERSHIP WHERE THE SECRETARY OF STATE SHALL MAIL A COPY OF PROCESS SERVED UPON IT IS:

JAMES J. DISTEFANO  
1221 ROUTE 300  
NEWBURGH, NEW YORK 12550

5. THE NAME AND ADDRESS OF EACH GENERAL PARTNER IS RECORDED WITH THE SECRETARY OF STATE.

6. THE TERM FOR WHICH THE LIMITED PARTNERSHIP IS TO EXIST IS FROM THE FILING OF THE CERTIFICATE OF LIMITED PARTNERSHIP UNTIL DECEMBER 31, 2027, UNLESS EARLIER TERMINATED BY THE DEATH, DISSOLUTION OR BANKRUPTCY OF THE GENERAL PARTNERS PROVIDED THE PARTNERS DO NOT AGREE TO CONTINUE THE LIMITED PARTNERSHIP, OR BY THE AGREEMENT OF THE PARTNERS, OR AS OTHERWISE PROVIDED BY LAW.

7. THE CHARACTER OF THE BUSINESS TO BE CARRIED ON IS TO ENGAGE IN THE MANAGEMENT, OWNERSHIP AND OPERATION OF REAL PROPERTY, TO ENGAGE IN ANY OTHER LAWFUL ACTIVITY, AND TO EXTEND LOANS, SECURED

## PUBLICATION NOTICE OF ORGANIZATION OF DB FINISHING LAB, LLC

FIRST: The name of the Limited Liability Company is **DB FINISHING LAB, LLC** (hereinafter referred to as the "Company").  
SECOND: The Articles of Organization of the Company were filed with the Secretary of State on: **December 9, 1999**.

THIRD: The county within New York State in which the office of the Company is to be located is: **Orange County**.

FOURTH: The Secretary of State has been designated as agent upon whom process against the Company may be served. The post office address to which the Secretary of State shall mail process is: **c/o Todd S. Stall Esq. Hankin Hanig Stall Caplicki, Redl & Curtin LLP, 319 Main Mall Rear, P.O. Box 211, Poughkeepsie, New York 12602-0911**.

FIFTH: The purpose of the business of the Company is: to engage in any business permitted under the New York State Limited Liability Law, and to do any and all things necessary, convenient or incidental to that purpose.

## LEGAL NOTICE

Notice of Formation of Limited Liability Company. BV REALTY L.L.C., with an office in Orange County, filed Articles of Organization with the Secretary of State of New York on November 10, 1999. The Secretary of State has been designated as agent of the LLC upon whom process against it may be served. Secretary of State shall mail a copy of such process to: BV REALTY, L.L.C., 2280 Rt. 208, Walden, NY 12586, P.O. Box 10174, Newburgh, NY 12550. Purpose of limited liability company is to engage in any lawful act or activity.

## LEGAL NOTICE

NOTICE OF FORMATION OF LIMITED LIABILITY COMPANY. FIRST: The name of the Limited Liability company is **JANNOTTI & COLLINS AGENCY, LLC** (hereinafter referred to as the "Company"). SECOND: The Articles of Organization of the Company were filed with the Secretary of State of the State of New York on November 23, 1999. THIRD: The County within New York in which the office of the Company is to be located is Orange. FOURTH: The Secretary of State has been designated as agent upon whom process against the Company may be served. The post office address to which the Secretary of State shall mail process is 20 Browns Drive, New Windsor, New York 12553. FIFTH: The purpose of the Company is to offer insurance products and to engage in any lawful act or activity related thereto.

## LEGAL ADVERTISEMENT

Sealed bids will be accepted by Orange County Community College, 115 South Street, Middletown, NY 10940 (Orange

Map of the (Subdivision of Lands) (Site Plan) \* is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, N.Y. prior to the Public Hearing.

By Order of  
TOWN OF NEW WINDSOR  
PLANNING BOARD  
James R. Petro, Jr.,  
Chairman  
Dated: 12/15/99

## LEGAL NOTICE

NOTICE IS HEREBY GIVEN that the PLANNING BOARD of the TOWN OF NEW WINDSOR, County of Orange, State of New York will hold a PUBLIC HEARING at Town Hall, 555 Union Avenue, New Windsor, New York on January 12, 2000 at 7:30 P.M. on the approval of the proposed Site Plan (Site Plan)\* OF Leemill's Petroleum Inc. (Getty) Sec. 65-Block 2-Lot 32 located 800 Blooming Grove Tnpk.

Map of the (Site Plan) \* is on file and may be inspected at the Planning Board Office, Town Hall, 555 Union Avenue, New Windsor, N.Y. prior to the Public Hearing.

By Order of  
TOWN OF NEW WINDSOR  
PLANNING BOARD  
James R. Petro, Jr.  
Chairman  
Dated: 12/16/99

## NOTICE TO BIDDERS DIVISION OF PURCHASE COUNTY OF ORANGE

Sealed bids for supplying MILK, MILK PRODUCTS AND ICE CREAM for the County of Orange will be received at the Office of the Division of Purchase, of the County of Orange at 2455-2459 Route 17M, PO Box 218, Goshen, New York 10924, until 3:00 PM on Wednesday, January 12, 2000.

Bid forms, including specifications may be obtained from the Division of Purchase at the above address.

Division of Purchase  
County of Orange  
Date: December 24, 1999

## NOTICE TO BIDDERS DIVISION OF PURCHASE COUNTY OF ORANGE

Sealed bids for supplying PASTEURIZED AND FRESH EGGS for the County of Orange will be received at the Office of the Division of Purchase, of the County of Orange at 2455-2459 Route 17M, PO Box 218, Goshen, New York 10924, until 3:30 PM on Tuesday, January 11, 2000.

Bid forms, including specifications may be obtained from the Division of Purchase at the above address.

Division of Purchase

ROLLS AND O UCTS for the C received at the ( Purchase, of the C 2459 Route 17M New York 10924 day, January 11.

Bid forms, inc be obtained from at the above addr

Division of P County of Or Date: Decem

## NOTICE DIVISION COUNT

Sealed bids GREESTACK for the County of the Office of the the County of C 7M, PO Box 10924, until 3:00 ry 10, 2000.

Bid forms, inc be obtained from at the above addr

Division of P County of Or Date: Decem

## PUBLIC H ZONIN A

TOWN OF PLEASE TA ing Board of A NEW WINDSC Public Hearing f of the Zoning L Proposition:

Appeal No. 5 Request of ATES for a V Local Law to OF MINI-STO ADEQUATE FE YARD SETBACK YARD: 25.3' R POSED REAR 15. THE CONST FENCE BETA BUILDING & SLOOP HILL ROUTE 9W, be tion 48-9 BUL GROUP A 10, C (c) (1) SUPPLE LATIONS for BETWEEN RT 70' + SOUTH OF SLOOP H ROAD known Section 37, Blk PUBLIC HE

GETTY PETROLEUM CORPORATION SITE PLAN (99-34)

Ms. Rachael Mayo appeared before the board for this proposal.

MR. PETRO: Application proposes conversion of the existing automobile service station to a convenient store, the gas fueling island is to be maintained. I think you mean the gas island is to remain, is that what that really means?

MR. EDSALL: Maintained as a site feature, whatever.

MR. BABCOCK: They're going to keep it.

MR. PETRO: Ms. Mayo, you're all set.

MS. MAYO: Just stated we're looking to seek approval to convert the existing bay service station area to a convenient store. I had a work session meeting with Mark and we did address the comments, what the town had, a comment regarding the putting in some additional parking and providing a sidewalk with handicapped accessible ramps which we did. We also added the trash enclosure as requested with, I drew this detail on here that reflects it to be a block structure around a concrete pad with a chain link enclosure with privacy slats to match the existing building finish.

MR. LANDER: Where is that?

MS. MAYO: Right here.

MR. LANDER: How are we going to get at that?

MS. MAYO: It's a front load. If there's a car and they want to pick up, they'll wait, it's a convenient store, no one's in there for more than a few minutes, they can just sit. And again, if there's a truck removing the trash, the car can either park somewhere else or wait for the spot that they want.

MR. PETRO: Can you show me on my plan, I believe it's here, it's unusual that it would be behind the parking spot like that, that's it right here?

MS. MAYO: This is the trash enclosure, there's an existing pad here, just we didn't want to center it right on there, tried to get it back away as far as we could. There was some talk about putting it over here, it would have been a parking area as well, I believe.

MR. PETRO: Does a garbage truck fit down a 9 foot?

MS. MAYO: This is going to be striped.

MR. PETRO: This is curbed?

MS. MAYO: Not curbed, just striped.

MR. PETRO: He can actually drive on it, is what you're saying?

MS. MAYO: Yes.

MR. BABCOCK: Mr. Chairman, it's a repair shop now and I believe that any vehicles that park in the gravel area may be waiting for parts. Repair shop is going away, now it's going to be a convenient shop, so you're probably not going to get any parking back there, maybe an employee.

MR. PETRO: Except the owner or the employee.

MR. LANDER: Graveled area, if they are not going to use it, it should go to grass, again, topsoil and seed and fertilize and let grass grow, instead of letting it be a dust bowl, if you're not going to use it, you should put it back to grass. I still have a problem with the dumpster, but you don't have too many places to put it.

MS. MAYO: If you moved--

MR. EDSALL: That's originally what I asked them to do is look at spot over on the east side, but when they came back, the reason it is where it is is because of the grades, it's existing conditions and they are going to enclose it, so it has a better appearance.

MR. ARGENIO: Mark, there's going to be a much higher public presence after this is converted, is there any issue with the lighting on the site?

MR. EDSALL: There's several light fixtures there now and I asked that question and I think indicated that the lighting is functioning adequately now.

MR. ARGENIO: For the repair shop?

MR. EDSALL: Right and I don't know if the canopy has lighting under it or not.

MS. MAYO: The canopy?

MR. EDSALL: For the gas island.

MS. MAYO: Is there a canopy there currently?

MR. EDSALL: Or is that just the--

MS. MAYO: That's the concrete island.

MR. EDSALL: Odds are that the next thing you'll probably be seeing is the canopy because just about everyone in Five Corners has one.

MS. MAYO: Should of did it at the same time.

MR. EDSALL: You may need a variance so it makes sense to go in steps.

MS. MAYO: As suggested, we did look at the lighting and it was determined that there was adequate lighting.

MR. LANDER: This hasn't been to DOT, has it?

MS. MAYO: No.

MR. BABCOCK: They are not changing anything.

MS. MAYO: Only thing we're going to be doing would be to add sidewalk and paving and curbing.

MR. EDSALL: Ron, candidly, Mr. Pullar and I met out

there, the purpose was not really to create a sidewalk, but more that that's a very large open access onto Old Forge Hill Road, this will cut it down to that opening to the north side.

MR. PETRO: Mark, answer this for me, please, this application is you just told me is not going to DOT and yet to me, it's certainly a change of use and why would this one nothing and the Perkin's has gone for a change of use.

MR. EDSALL: I don't think I said it wasn't going to DOT, I said it's not mandatory, it's the board's option because you don't have to send them, there's no permits required and there's no work in the DOT right-of-way, if you desire input.

MR. PETRO: Whereas Perkin's we're changing the curb cuts.

MR. EDSALL: They were already changing things, once the door was open, DOT welcomed them and asked them to make a bunch of other changes. So it's your option, if you want to send this over to DOT.

MR. LANDER: They'll probably close this curb cut here down if you go to DOT, the one right by the light.

MS. MAYO: Well, if we were doing work in the right-of-way, as Mark indicated, we would be required to obtain a permit, but we aren't.

MR. LANDER: They would have you close this one down because they are trying to close all these down.

MR. PETRO: I think that would hurt the site, though.

MR. LANDER: Well, they don't care.

MR. PETRO: Even if I got gas there, I would go in there like that, let's not send it there, save them the headache.

MS. MAYO: Thank you.

MR. KRIEGER: It's voluntary, if you want to go, you can.

MS. MAYO: No, I'd like to get the project done soon.

MR. PETRO: Motion for lead agency.

MR. LANDER: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion's been made and seconded that the New Windsor Planning Board declare lead agency for the Getty Petroleum Corp. site plan.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: And we have highway approval on 12/3/99 and fire approval on 12/2/99.

MR. LANDER: Might need some lighting on the north side.

MS. MAYO: We can propose to install some building.

MR. LANDER: Wall pack.

MR. ARGENIO: That would be wise, that's a change of use, the automotive shop is probably not open the hours the convenient store is open.

MR. LANDER: Will that be open 24 hours?

MS. MAYO: Currently, the hours that they operate are 6 to 12, Monday through Friday, 8 to 10 on Sundays, the only change would be probably since it's going to be maybe an hour earlier on Sunday.

MR. PETRO: We're not adding any blacktop, are we?



MS. MAYO: No.

MR. PETRO: To create more of a drainage problem?

MS. MAYO: No.

MR. PETRO: Landscaping, I think you've very limited as far as landscaping, edge of pavement on the south side that's the only place where anything could go.

MR. ARGENIO: That's probably the slope going down into that stream.

MS. MAYO: Quite a significant grade change there, I believe the surveys should be--

MR. EDSALL: Survey's the last sheet?

MS. MAYO: There is--

MR. ARGENIO: There's no topo.

MR. LANDER: There's spot elevations inside the parking lot.

MR. LANDER: We're going to change the gravel area to grass, that will be part of your landscaping, Mr. Chairman.

MR. LANDER: What's in the island right at the very corner, is that pavement there?

MS. MAYO: I don't believe there is anything there currently.

MR. LANDER: Maybe we can stick some landscaping in there, if you're going to make an island out of that.

MS. MAYO: Would we need to go before?

MR. LANDER: Just get it in between the property, let's not get in the right-of-way.

MS. MAYO: Plant some low growing shrubbery, junipers

or something?

MR. LANDER: Yeah, just to dress it up.

MR. PETRO: I want to discuss the public hearing, any thoughts on that? The special use permit which would require a public hearing mandatorily is already in existence, so I don't think that we're held to have a public hearing by law, but do we want to have one?

MR. LANDER: They have a special permit for the repair shop.

MR. BABCOCK: Actually, for the gasoline is what the special permit would be for and the repair shop which they are eliminating that the gasoline has been there so I think it's up to the board's discretion, we're not asking them for a special permit.

MR. LANDER: Mr. Chairman, I think because you have Old Forge Apartments then you have another set of apartments directly alongside of that church on the corner and another church up the road and I think just because of the things that are around it, we should have a public hearing.

MR. ARGENIO: I agree.

MR. BRESNAN: Yes.

MR. LANDER: I'm sure you probably won't get that many people coming but we--

MR. PETRO: Motion to set up public hearing.

MR. LANDER: So moved.

MR. ARGENIO: Second it.

MR. PETRO: Motion has been made and seconded that the New Windsor Planning Board set up a public hearing for the Getty site plan on 94 and Old Forge Hill Road. Is there any further discussion from the board members? If not, roll call.

ROLL CALL

MR. ARGENIO	AYE
MR. BRESNAN	AYE
MR. LANDER	AYE
MR. PETRO	AYE

MR. PETRO: You can contact Myra anytime once you have all your paperwork in order.

MS. MAYO: When is the next meeting?

MR. PETRO: The gravel area will be to grass, as Mr. Lander's requested put these notes on the plan before the public hearing, I don't think there was much else other than that couple wall packs.

MR. LANDER: Landscaping on the corner.

MS. MAYO: Wall packs, landscaping and the wall pack on the handicapped parking side and one on the other side as well.

MR. LANDER: Now that I look at this, you do have a light pole on that side of the building?

MR. EDSALL: There's three light poles at the three corners of the triangle, as it may be, for the developed site.

MS. MAYO: Two on the front corners to provide a little more coverage, they were to throw them on the front corners here, that would pick up these two areas here maybe caution, I believe, if they had them right here on the corner.



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

Licensed in NEW YORK, NEW JERSEY  
and PENNSYLVANIA

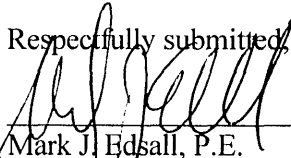
**TOWN OF NEW WINDSOR  
PLANNING BOARD  
REVIEW COMMENTS**

- ☐ **Main Office**  
45 Quassaick Ave. (Route 9W)  
New Windsor, New York 12553  
(914) 562-8640  
e-mail: mheny@att.net
- ☐ **Regional Office**  
507 Broad Street  
Milford, Pennsylvania 18337  
(570) 296-2765  
e-mail: mhepa@ptd.net

**REVIEW NAME:** GETTY SITE PLAN  
**PROJECT LOCATION:** NYS ROUTE 94 AND OLD FORGE HILL ROAD  
SECTION 65-BLOCK 2-LOT 32  
**PROJECT NUMBER:** 99-34  
**DATE:** 8 DECEMBER 1999  
**DESCRIPTION:** THE APPLICATION PROPOSES THE CONVERSION OF THE  
EXISTING AUTOMOBILE SERVICE STATION TO A CONVENIENCE  
STORE. THE GAS FILLING ISLAND IS TO BE MAINTAINED.

1. This application was reviewed at the Technical Work Sessions and most of the issues raised have been resolved as part of the plan design currently before the Board. Some of my comments based on my initial review of this plan are as follows:
  - a. The proposed site plan should include zoning information, including a completed bulk table.
  - b. The Planning Board should note the location of the dumpster enclosure, which is positioned at the rear of a proposed parking space. This is the existing location for a dumpster without an enclosure. The Board should decide if this arrangement is acceptable.
  - c. The dumpster enclosure detail should note that the split-faced block should be coated to match the building finish.
  - d. It is recommended that the site pavement either receive an overlay or a seal coat as part of this application. The Board should discuss this with the Applicant.
2. The Planning Board may wish to assume the position of **Lead Agency** under the SEQRA process.
3. The Planning Board should determine if a Public Hearing is necessary for this site plan, with the continuation of a Special Permit Use.
4. At such time that the Planning Board has made further review of this application, **further engineering reviews** and comments will be made, as deemed necessary by the Board.

Respectfully submitted,

  
Mark J. Edsall, P.E.

Planning Board Engineer

MJEmk

GETTY.mk

# Eastern Engineering, P.C.

*Civil, Environmental and Municipal Engineers • Project Managers • Site Planners • Permit Expeditors*  
125 Commerce Drive, Brookfield, CT 06804 – Phone: 203-740-9280 • Fax: 203-740-9444

December 17, 1999

Town of New Windsor Planning Board  
555 Union Avenue  
New Windsor, NY 12553

Attn: James R. Petro, Jr., Chairman

RE: Getty Site Plan  
800 Blooming Grove Tnpk  
Sec. 65 – Block 2 – Lot 32


Dear Mr. Chairman:

We are in receipt of the Planning Board Engineer's Comments dated December 8, 1999. We offer the following in response:

- 1.a. The use is pre-existing non-conforming in an R-4 zone and a note has been added to the Site Plan.
- b. Noted and at its meeting December 8, 1999, it was determined that the location for the dumpster enclosure was acceptable.
- c. Noted and we have added a note to the detail sheet stating that the block enclosure would be painted to match the building.
- d. Noted and we have indicated that the site will be seal coated.
2. Noted.
3. Noted.
4. Noted.

We trust that this satisfactorily addressed the Planning Board Engineer's Comments.

Sincerely,  
**EASTERN ENGINEERING, P.C.**

  
Rachel A. Mayo  
Project Manager

Member  
 Tyree  
Organization

RESULTS OF P. MEETING OF: December 8, 1999

PROJECT: Yetty - Rt. 94

P.B.# 99-34

LEAD AGENCY:

NEGATIVE DEC:

1. AUTHORIZE COORD LETTER: Y\_\_ N\_\_

M)\_\_ S)\_\_ VOTE: A\_\_ N\_\_

2. TAKE LEAD AGENCY: Y ☒ N\_\_

CARRIED: YES\_\_ NO\_\_

M) LN S) A VOTE: A 4 N 0

CARRIED: YES ☒ NO\_\_

WAIVE PUBLIC HEARING: M) A S) LN VOTE: A 4 N 0 WAIVED: Y\_\_ N ☒

SCHEDULE P.H. Y ☒ N\_\_

SEND TO O.C. PLANNING: Y\_\_

SEND TO DEPT. OF TRANSPORTATION: Y\_\_

REFER TO Z.B.A.: M)\_\_ S)\_\_ VOTE: A\_\_ N\_\_

RETURN TO WORK SHOP: YES\_\_ NO\_\_

APPROVAL:

M)\_\_ S)\_\_ VOTE: A\_\_ N\_\_ APPROVED: \_\_\_\_\_

M)\_\_ S)\_\_ VOTE: A\_\_ N\_\_ APPROVED CONDITIONALLY: \_\_\_\_\_

NEED NEW PLANS: Y\_\_ N\_\_

DISCUSSION/APPROVAL CONDITIONS:

Add some lighting
Change gravel area to grass
Add some landscaping at corner
Mark's comments



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 99-34

DATE PLAN RECEIVED: RECEIVED DEC - 2 1999

The maps and plans for the Site Approval ✓

Subdivision \_\_\_\_\_ as submitted by

EASTERN ENG. for the building or subdivision of  
GETTY PETROLEUM CORP. has been

reviewed by me and is approved ✓,

disapproved \_\_\_\_\_.

If disapproved, please list reason \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

HIGHWAY SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

WATER SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_

SANITARY SUPERINTENDENT \_\_\_\_\_ DATE 12/29/99

Town of New Windsor  
555 Union Avenue  
New Windsor, NY 12553  
(814) 563-4611

**RECEIPT**  
**#7-1999**

12/03/1999

Organization, Ltd. The Tyree

Received \$ 100.00 for Planning Board Fees, on 12/03/1999. Thank you for stopping by the Town Clerk's office.

As always, it is our pleasure to serve you.

Dorothy H. Hansen  
Town Clerk



PLANNING BOARD  
TOWN OF NEW WINDSOR

AS OF: 12/03/1999

PAGE: 1

LISTING OF PLANNING BOARD **FEES**  
**ESCROW**

FOR PROJECT NUMBER: 99-34

NAME: GETTY PETROLEUM CORP. - OLD FORGE HILL & RT. 94  
APPLICANT: LEEMILT'S PETROLEUM

--DATE--	DESCRIPTION-----	TRANS	--AMT-CHG	-AMT-PAID	--BAL-DUE
12/02/1999	REC. CK. #3006547	PAID		750.00	
		TOTAL:	0.00	750.00	-750.00





1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 99-34

DATE PLAN RECEIVED: RECEIVED DEC - 2 1999

RECEIVED

DEC 3 1999

N.W. HIGHWAY DEPT.

The maps and plans for the Site Approval ✓

Subdivision \_\_\_\_\_ as submitted by

\_\_\_\_\_ for the building or subdivision of

\_\_\_\_\_ has been

reviewed by me and is approved ✓,

disapproved \_\_\_\_\_.

If disapproved, please list reason \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

W. James Sullivan 12/3/99  
HIGHWAY SUPERINTENDENT DATE

\_\_\_\_\_  
WATER SUPERINTENDENT DATE

\_\_\_\_\_  
SANITARY SUPERINTENDENT DATE

**INTER-OFFICE MEMORANDUM**

**TO: Town Planning Board**

**FROM: Town Fire Inspector**

**DATE: December 6, 1999**

**SUBJECT: Getty Petroleum**

Planning Board Reference Number: PB-99-34


Date: 2 December 1999

Fire Inspector Reference Number: FPS-99-046

A review of the above referenced site plan was conducted on 3 December 1999.

This site plan is acceptable.

Plans Dated: 21 October 1999 Revision 3.



Robert F. Rodgers  
Fire Inspector

RFR/dh



1763

# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553

## NEW WINDSOR PLANNING BOARD REVIEW FORM

TO: FIRE INSPECTOR, D.O.T., WATER, SEWER, HIGHWAY

PLEASE RETURN COMPLETED FORM TO:

MYRA MASON, SECRETARY FOR THE PLANNING BOARD

PLANNING BOARD FILE NUMBER: 99-34

DATE PLAN RECEIVED: RECEIVED DEC - 2 1999

The maps and plans for the Site Approval \_\_\_\_\_

Subdivision \_\_\_\_\_ as submitted by

\_\_\_\_\_ for the building or subdivision of

Getty Petroleum Corp. has been

reviewed by me and is approved ☒ \_\_\_\_\_,

~~disapproved~~ \_\_\_\_\_.

If disapproved, please list reason

This property is being supplied by  
Town water

HIGHWAY SUPERINTENDENT DATE

Steve D. D. 12-7-99  
WATER SUPERINTENDENT DATE

SANITARY SUPERINTENDENT DATE



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

- ☐ Main Office  
45 Quassaick Ave. (Route 9W)  
New Windsor, New York 12553  
(914) 562-8640
- ☐ Branch Office  
507 Broad Street  
Milford, Pennsylvania 18337  
(717) 296-2765

PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE

TOWN/VILLAGE OF NEW WINDSOR P/B

99-34

WORK SESSION DATE: 6 OCT 99

APPLICANT RESUB.  
REQUIRED: Full App

REAPPEARANCE AT W/S REQUESTED: No

PROJECT NAME: Getty site

PROJECT STATUS: NEW X OLD       

REPRESENTATIVE PRESENT: Richard May (Typee)

MUNIC REPS PRESENT: BLDG INSP.         
FIRE INSP. Bob  
ENGINEER X  
PLANNER         
P/B CHMN.         
OTHER (Specify)       

203-740-9280

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

- needed > 25' curb cut on Forge Hill to get tanker in.
- rec block dumpster end of gates
- MYRA => tell Jim P to call me re curb
- alignment @ Forge Hill w/ new curb/gate
- change to Old Forge Hill-
- rec front overlay

need tomorrow for next weeks mtg.

CLOSING STATUS

- X Set for agenda IF PLANS/APP
- possible agenda item
- Discussion item for agenda
- ZBA referral on agenda

pbwsform 10MJE98



McGOEY, HAUSER and EDSALL  
CONSULTING ENGINEERS P.C.

RICHARD D. McGOEY, P.E.  
WILLIAM J. HAUSER, P.E.  
MARK J. EDSALL, P.E.  
JAMES M. FARR, P.E.

- ☐ Main Office  
45 Quassaick Ave. (Route 9W)  
New Windsor, New York 12553  
(914) 562-8640
- ☐ Branch Office  
507 Broad Street  
Milford, Pennsylvania 18337  
(717) 296-2765

PLANNING BOARD WORK SESSION  
RECORD OF APPEARANCE

TOWN/VILLAGE OF

New Windsor

P/B #

1030-001

WORK SESSION DATE:

18 Aug 99

APPLICANT RESUB.

REQUIRED:

FE 11

REAPPEARANCE AT W/S REQUESTED:

No

PROJECT NAME:

Getty site

PROJECT STATUS: NEW

OLD

REPRESENTATIVE PRESENT:

Steve Sabel, Frank

MUNIC REPS PRESENT: BLDG INSP.

FIRE INSP.

Bob

ENGINEER

X

PLANNER

P/B CHMN.

OTHER (Specify)

ITEMS TO BE ADDRESSED ON RESUBMITTAL:

-  $48 \times 29 / 110 = 9.28$  10 spans

- pour new curb 1/2 on Forge Hill 7 1/2 days  
25' cut?

- dumpster envol

- Approval box

next avail after plans

CLOSING STATUS

Set for agenda

☒ possible agenda item

Discussion item for agenda

ZBA referral on agenda

Approval Box :)

pbwsform 10MJ98



# TOWN OF NEW WINDSOR

555 UNION AVENUE  
NEW WINDSOR, NEW YORK 12553  
Telephone: (914) 563-4615  
Fax: (914) 563-4693

## PLANNING BOARD APPLICATION

### TYPE OF APPLICATION (check appropriate item):

Subdivision\_\_\_\_ Lot Line Change\_\_\_\_ Site Plan x Special Permit\_\_\_\_

Tax Map Designation: Sec. 65 Block 2 Lot 32

1. Name of Project Getty Petroleum Corp.

2. Owner of Record Leemilt's Petroleum Phone 516 338-6000

Address: 125 Jericho Turnpike Jericho, NY 11753  
(Street Name & Number) (Post Office) (State) (Zip)

3. Name of Applicant Leemilt's Petroleum Phone (516) 338-6000

Address: 125 Jericho Tnpk Jericho, N.Y. 11753  
(Street Name & Number) (Post Office) (State) (Zip)

4. Person Preparing Plan \_\_\_\_\_ Phone \_\_\_\_\_

Address: \_\_\_\_\_  
(Street Name & Number) (Post Office) (State) (Zip)

5. Attorney \_\_\_\_\_ Phone \_\_\_\_\_

Address \_\_\_\_\_  
(Street Name & Number) (Post Office) (State) (Zip)

6. Person to be notified to appear at Planning Board meeting:

Rachel Mayo (203) 740-9280  
(Name) (Phone)

7. Project Location: 800 Blooming Grove Tnpk

On the North side of NYS RT 94 Corner \_\_\_\_\_ feet  
(Direction) (Street) (No.)  
West of Old Forge Hill Rd  
(Direction) (Street)

8. Project Data: Acreage 0.68 Zone R-4 School Dist. \_\_\_\_\_

PAGE 1 OF 2

( PLEASE DO NOT COPY 1 & 2 AS ONE PAGE TWO-SIDED)

RECEIVED 12 1999

99-84

9. Is this property within an Agricultural District containing a farm operation or within 500 feet of a farm operation located in an Agricultural District? Yes \_\_\_\_\_ No X

**\*This information can be verified in the Assessor's Office.**

**\*If you answer "yes" to question 9, please complete the attached "Agricultural Data Statement".**

10. Description of Project: (Use, Size, Number of Lots, etc.) Interior modifications to existing building for convenience store.

11. Has the Zoning Board of Appeals Granted any Variances for this property? yes \_\_\_\_\_ no X

12. Has a Special Permit previously been granted for this property? yes \_\_\_\_\_ no X

ACKNOWLEDGMENT:

IF THIS ACKNOWLEDGMENT IS COMPLETED BY ANYONE OTHER THAN THE PROPERTY OWNER, A SEPARATE NOTARIZED STATEMENT OR PROXY STATEMENT FROM THE OWNER MUST BE SUBMITTED, AT THE TIME OF APPLICATION, AUTHORIZING THIS APPLICATION.

STATE OF NEW YORK)

SS.:

COUNTY OF ORANGE)

THE UNDERSIGNED APPLICANT, BEING DULY SWORN, DEPOSES AND STATES THAT THE INFORMATION, STATEMENTS AND REPRESENTATIONS CONTAINED IN THIS APPLICATION AND SUPPORTING DOCUMENTS AND DRAWINGS ARE TRUE AND ACCURATE TO THE BEST OF HIS/HER KNOWLEDGE AND/OR BELIEF. THE APPLICANT FURTHER ACKNOWLEDGES RESPONSIBILITY TO THE TOWN FOR ALL FEES AND COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

JOANNE KUNKEL  
Notary Public State of New York  
No. 01KU5085571

SWORN BEFORE ME THIS:

Qualified in Putnam County  
Commission Expires: Sept. 29, 2001

16 DAY OF November 1999

Rachel A. Mayo  
APPLICANT'S SIGNATURE

Joanne Kunkel  
NOTARY PUBLIC

Rachel Mayo (Agent)

Please Print Applicant's Name as Signed

\*\*\*\*\*

TOWN USE ONLY:

DATE APPLICATION RECEIVED

99-34  
APPLICATION NUMBER



**LEEMILT PETROLEUM, INC.**

125 JERICO TURNPIKE • JERICO, NEW YORK 11753 • (516) 338-6000

March 1, 1995

To Whom It May Concern:

AUTHORIZATION TO ACT AS AGENT  
FOR LEEMILT'S PETROLEUM, INC.

This letter authorizes Rachel A. Mayo or Richard M. Calkins of Eastern Consulting, Inc. to represent Leemilt's Petroleum, Inc. for the purpose of applying for and obtaining approvals and permits for service station construction projects.

Sincerely,

  
Scott Hanley  
Engineering Manager

SH/ss

RECEIVED DEC - 2 1999

99-34

**TOWN OF NEW WINDSOR PLANNING BOARD**

**SITE PLAN CHECKLIST**

ITEM

1. ✓ Site Plan Title
2. ✓ Provide 4" wide X 2" high box directly above title block  
(preferably lower right corner) for use by Planning Board in  
affixing Stamp of Approval (ON ALL PAGES OF SP)
3. ✓ Applicant's Name(s)
4. ✓ Applicant's Address
5. ✓ Site Plan Preparer's Name
6. ✓ Site Plan Preparer's Address
7. ✓ Drawing Date
8. ✓ Revision Dates
9. ✓ Area Map Inset and Site Designation
10. ✓ Properties within 500' of site
11. ✓ Property Owners (Item #10)
12. ✓ Plot Plan
13. ✓ Scale (1" = 50' or lesser)
14. ✓ Metes and Bounds
15. ✓ Zoning Designation
16. ✓ North Arrow
17. ✓ Abutting Property Owners
18. ✓ Existing Building Locations
19. ✓ Existing Paved Areas
20. ✓ Existing Vegetation
21. ✓ Existing Access & Egress

## PROPOSED IMPROVEMENTS

22. NA Landscaping
23. ✓ Exterior Lighting
24. NA Screening
25. EXISTING ✓ Access & Egress
26. EXISTING ✓ Parking Areas
27. NA Loading Areas
28. NA Paving Details (Items 25 - 27)
29. ✓ Curbing Locations
30. ✓ Curbing through section
31. NA Catch Basin Locations
32. NA Catch Basin Through Section
33. NA Storm Drainage
34. ✓ Refuse Storage
35. NA Other Outdoor Storage
36. NA Water Supply
37. NA Sanitary Disposal System
38. NA Fire Hydrants
39. ✓ Building Locations
40. ✓ Building Setbacks
41. ✓ Front Building Elevations
42. ✓ Divisions of Occupancy
43. ✓ Sign Details
44. NA Bulk Table Inset
45. ✓ Property Area (Nearest 100 sq. ft.)
46. NA Building Coverage (sq. ft.)
47. NA Building Coverage (% of total area)
48. NA Pavement Coverage (sq. ft.)
49. NA Pavement Coverage (% of total area)
50. NA Open Space (sq. ft.)
51. NA Open Space (% of total area)
52. ✓ No. of parking spaces proposed
53. ✓ No. of parking spaces required

REFERRING TO QUESTION 9 ON THE APPLICATION FORM, "IS THIS PROPERTY WITHIN AN AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION OR WITHIN 500 FEET OF A FARM OPERATION LOCATED IN AN AGRICULTURAL DISTRICT, PLEASE NOTE THE FOLLOWING:

54. NA Referral to Orange County Planning Dept. is required for all applicants filing AD Statement.
55. NA A disclosure Statement, in the form set below, must be inscribed on all subdivision maps prior to the affixing of a stamp of approval, whether or not the Planning Board specifically requires such a statement as a condition of approval.

"Prior to the sale, lease, purchase, or exchange of property on this site which is wholly or partially within or immediately adjacent to or within 500 feet of a farm operation, the purchaser or leaser shall be notified of such farm operation with a copy of the following notification.

It is the policy of this State and this community to conserve, protect and encourage the development and improvement of agricultural land for the production of food, and other products, and also for its natural and ecological value. This notice is to inform prospective residents that the property they are about to acquire lies partially or wholly within an agricultural district or within 500 feet of such a district and that farming activities occur within the district. Such farming activities may include, but not be limited to, activities that cause noise, dust and odors.

This list is provided as a guide only and is for the convenience of the Applicant. The Town of New Windsor Planning Board may require additional notes or revisions prior to granting approval.

**PREPARER'S ACKNOWLEDGMENT:**

THE PLAT FOR THE PROPOSED SITE PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THIS CHECKLIST AND THE TOWN OF NEW WINDSOR ORDINANCES, TO THE BEST OF MY KNOWLEDGE.

BY:  11-16-98  
Licensed Professional Date

PROJECT I.D. NUMBER

617.21

SEQR

Appendix C

State Environmental Quality Review

**SHORT ENVIRONMENTAL ASSESSMENT FORM**

For UNLISTED ACTIONS Only

**PART I—PROJECT INFORMATION** (To be completed by Applicant or Project sponsor)

1. APPLICANT /SPONSOR <b>Getty Petroleum Corp.</b>	2. PROJECT NAME <b>Getty Service Station</b>
3. PROJECT LOCATION: Municipality <b>New Windsor</b> County <b>Orange</b>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc., or provide map) <b>800 Blooming Grove Tnpk Corner of Old Forge Hill Road</b>	
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input type="checkbox"/> Expansion <input checked="" type="checkbox"/> Modification/alteration	
6. DESCRIBE PROJECT BRIEFLY: <b>Renovate interior of existing building from repair facility to convenience mart. Install curbing to form landscaped islands and defined parking. Install block trash enclosure.</b>	
7. AMOUNT OF LAND AFFECTED: Initially <u>0</u> acres Ultimately <u>0</u> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If No, describe briefly	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input checked="" type="checkbox"/> Park/Forest/Open space <input type="checkbox"/> Other Describe: <b>Station is surrounded by residential apartments and small commercial/retail building as well as open space across the street.</b>	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If yes, list agency(s) and permit/approvals <b>New Windsor Planning Board approval Building Department permits.</b>	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input type="checkbox"/> No <b>N/A</b>	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/sponsor name: <b>Rachel Mayo (Agent)</b> Date: <b>11/16/99</b>	
Signature: <i>Rachel A. Mayo</i>	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment

OVER

99-004

**PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)**

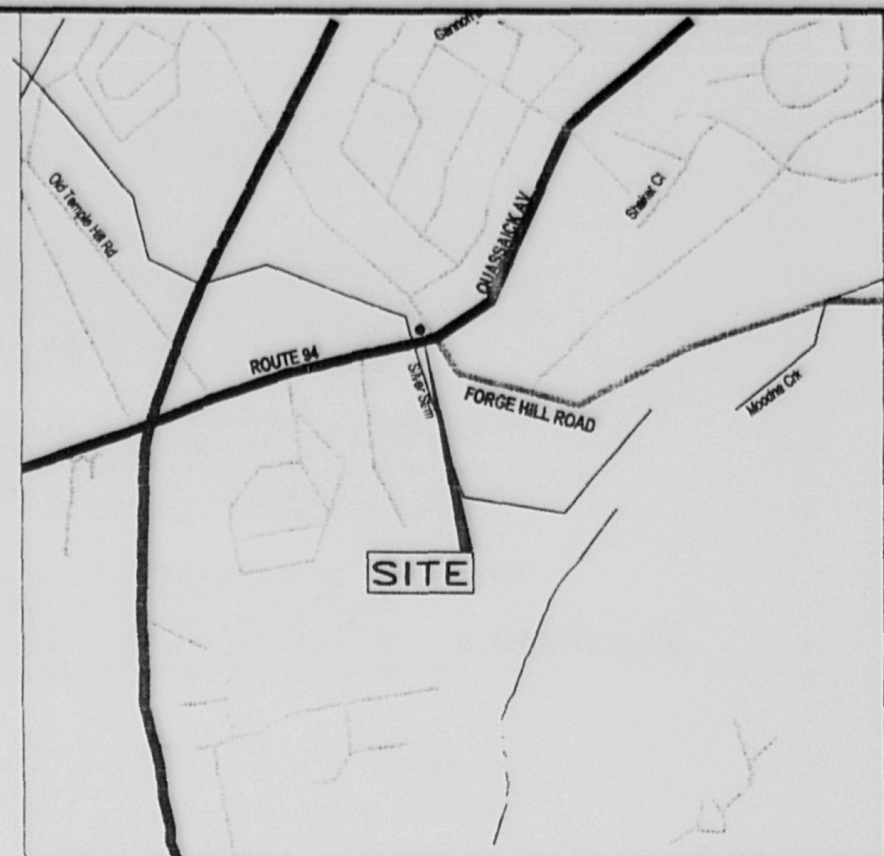
A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.12? If yes, coordinate the review process and use the FULL EAF. <input type="checkbox"/> Yes <input type="checkbox"/> No	
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency. <input type="checkbox"/> Yes <input type="checkbox"/> No	
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible) C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly:          C2. Aesthetic, agricultural, archaeological, historic, or other natural or cultural resources; or community or neighborhood character? Explain briefly:          C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly:          C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly:          C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly:          C6. Long term, short term, cumulative, or other effects not identified in C1-C5? Explain briefly:          C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly:          	
D. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, explain briefly	

**PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)**

**INSTRUCTIONS:** For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed.

<input type="checkbox"/> Check this box if you have identified one or more potentially large or significant adverse impacts which <b>MAY</b> occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.	
<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action <b>WILL NOT</b> result in any significant adverse environmental impacts <b>AND</b> provide on attachments as necessary, the reasons supporting this determination:	
_____ Name of Lead Agency	
_____ Print or Type Name of Responsible Officer in Lead Agency	_____ Title of Responsible Officer
_____ Signature of Responsible Officer in Lead Agency	_____ Signature of Preparer (If different from responsible officer)
_____ Date	





VICINITY MAP

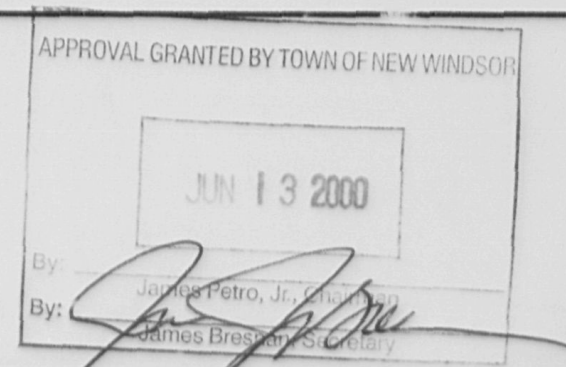
GENERAL NOTES:

- OWNERS OF RECORD - LEEWILL'S PETROLEUM, INC.  
125 JERICHO TURNPIKE, JERICHO, NY
- AREA = 29,721 S.F. 0.68 ACRES ZONE: R-4 (SUBURBAN RESIDENTIAL)
- PROPERTY LINES, AND EXISTING SITE FEATURES ARE PER A PLAN ENTITLED "SURVEY OF PROPERTY PREPARED FOR TYREE ENGINEERING, P.C., SITUATE IN THE TOWN OF NEW WINDSOR, ORANGE COUNTY, NEW YORK" SCALE: 1"=20'. DATE: MARCH 17, 1999. PREPARED BY ZARECKI & ASSOCIATES, LLC., PAWLING, NY
- THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- UNDERGROUND TANK SIZES WERE OBTAINED FROM INFORMATION RECEIVED FROM STATION MANAGER OR EMPLOYEE. ALL SIZES AND LOCATIONS ARE APPROXIMATE AND ARE SUBJECT TO FIELD VERIFICATION.
- LOCATIONS DEPICTED ARE APPROXIMATE AND ARE SUBJECT TO FINAL SITE SURVEY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL ELEVATIONS, SITE CONDITIONS AND LOCATIONS/ELEVATIONS OF EXISTING UTILITIES. CONTACT UNDERGROUND FACILITY PROTECTION ORGANIZATION AT 1-800-962-7962.
- IF AN UNFORESEEN INTERFERENCE EXISTS BETWEEN AN EXISTING AND A PROPOSED UTILITY OR STRUCTURE, THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER SO THAT THE APPROPRIATE REVISIONS CAN BE MADE.
- ANY DRAINAGE STRUCTURES, UTILITIES, DITCHES, GRASSED AREAS, PAVEMENT, CONCRETE OR CURBS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITIONS.
- THE CONTRACTOR IS TO ADHERE TO ALL APPLICABLE CONSTRUCTION SAFETY STANDARDS AS PUBLISHED IN THE CODE OF FEDERAL REGULATIONS 1926, AS AMENDED.
- THE CONTRACTOR IS TO USE CAUTION WHEN WORKING NEAR OR UNDER OVERHEAD UTILITIES. THE CONTRACTOR IS TO NOTIFY THE UTILITY COMPANIES OF HIS INTENT PRIOR TO COMMENCEMENT OF ANY WORK.
- ALL AREAS OF DISTURBED EARTH SHALL BE STABILIZED BY SEEDING AND MULCHING OR BY OTHER APPROVED MEANS OF STABILIZATION. SEEDING OF PROPOSED GRASSED AREAS SHALL BE INITIATED AS SOON AS PRACTICAL, AS AN EROSION AND SILTATION CONTROL MEASURE.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND/OR EASEMENTS FROM STATE AND LOCAL AUTHORITIES AND ANY CONSTRUCTION RIGHTS AND/OR SLOPE RIGHTS AS MAY BE REQUIRED FROM ADJOINING PROPERTY OWNERS.
- IT IS THE RESPONSIBILITY OF EACH BIDDER IN EVALUATING THESE PLANS TO MAKE EXAMINATIONS IN THE FIELD BY VARIOUS METHODS AND OBTAIN NECESSARY INFORMATION FROM AVAILABLE RECORDS, UTILITY CORPORATIONS, AND INDIVIDUALS AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.

THE USE IS PRE-EXISTING,  
NON CONFORMING IN THE  
R-4 ZONE.

PARKING REQUIREMENTS:

PARKING REQUIREMENTS FOR DESIGN SHOPPING C ZONE (AS PER ZONING OFFICER)  
RETAIL: 1 SPACES PER 150 S.F. OF TOTAL FLOOR AREA  
1421 S.F. OF BUILDING AREA, 150 = 9.47 SPACES REQUIRED  
PROVIDED: 10 SPACES



IMPORTANT NOTE:  
CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-962-7962) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

IMPORTANT NOTE:  
IT IS UNDERSTOOD THAT "EASTERN ENGINEERING, P.C." HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN AND REVIEWS, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

IMPORTANT NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

REV.	DATE	COMMENT
1	12/15/99	PER TOWN COMMENTS
2	12/27/99	PER TOWN COMMENTS
3	12/27/99	PER TOWN COMMENTS
4	12/27/99	PER TOWN COMMENTS

Eastern Engineering, P.C.

A Division of The Tyree Organization, Ltd.

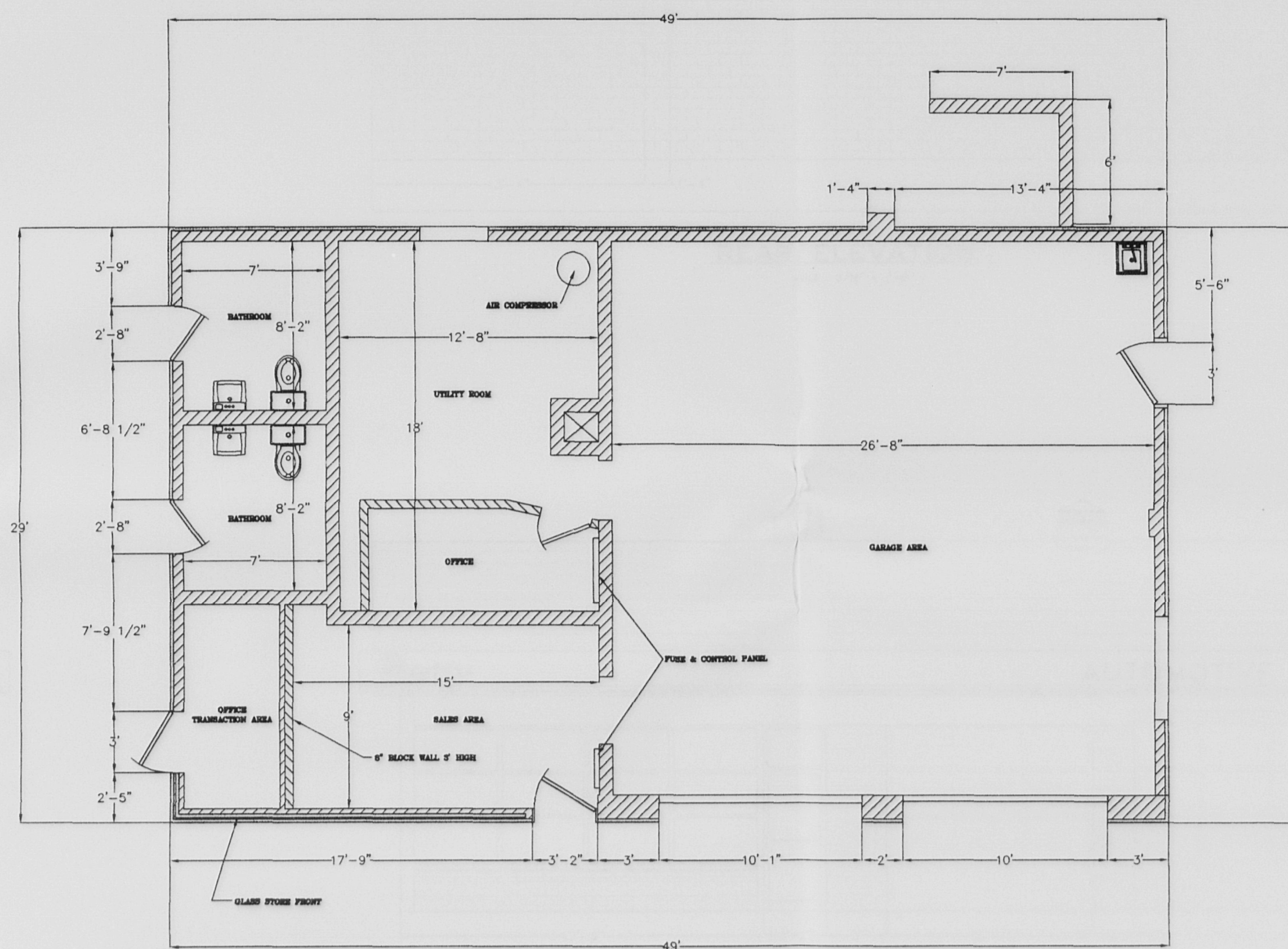
- Civil Engineers
  - Environmental Engineers
  - Municipal Engineers
- Project Managers • Site Planners • Permit Expeditors •

Phone: (203) 740-9280 125 Commerce Drive BROOKFIELD, CT 06804 Fax: (203) 740-9444  
FARMINGDALE, NY WESTBOROUGH, MA ALBANY, NY

CONVERSION TO GETTY MART	DRAWN BY: M.S.H.
PROPOSED SITE PLAN	CHECKED BY: DLV
GETTY PETROLEUM CORPORATION	DATE: 9/28/99
SS #58726	SCALE: 1" = 20'
800 BLOOMING GROVE TPKP, NEW WINDSOR, NEW YORK	DRAWING No: D99205550
	PROJECT No: D99205
	SHEET: 1

90-041 RECEIVED DEC 2 1 1999





# NOTES:

- EASTERN ENGINEERING, P.C. HAS PERFORMED FIELD WORK, RECORDED FINDINGS AND RECOMMENDATIONS PREPARED IN ACCORDANCE WITH GENERALLY AND CURRENTLY ACCEPTED ENGINEERING PRINCIPLES AND PRACTICES BASED ON A VISUAL INVESTIGATION OF THE PREMISES.
- EASTERN ENGINEERING, P.C. HAS BASED THE OVERALL CONCEPT OF ITS PORTION OF THE PROJECT ON ITS INTERPRETATION OF THE CLIENT'S NEEDS AND REQUIREMENTS. HOWEVER, EASTERN ENGINEERING, P.C. DOES NOT REPRESENT, IN ANY MANNER, THAT THE SUBJECT BUILDING/PROPERTY TO WHICH THIS SKETCH REFERS IS IN COMPLIANCE WITH, BUT NOT LIMITED TO, THE STATE OF NEW YORK BUILDING CODE, THE LIFE SAFETY CODE AND THE LOCAL ORDINANCES OF THE TOWN OF NEW WINDSOR.
- EASTERN ENGINEERING, P.C. IS NOT AND WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS INCLUDING OSHA REQUIREMENTS, AND EASTERN ENGINEERING, P.C. IS NOT RESPONSIBLE FOR AND DOES NOT HAVE CONTROL OVER THE ACTS OF THE CONTRACTOR OR SUBCONTRACTORS.
- THE CLIENT AND EASTERN ENGINEERING, P.C. UNDERSTAND AND AGREE THAT THE WORK PROPOSED IS THE RENOVATION OF AN EXISTING STRUCTURE AND THAT THE STRUCTURE MAY CONTAIN DEFECTS THAT ARE NOT VISIBLE AND/OR READILY APPARENT, AND THAT EASTERN ENGINEERING, P.C. IS NOT RESPONSIBLE FOR SUCH DEFICIENCIES, NOR RESPONSIBLE FOR INDICATING (OR NOT INDICATING) THESE DEFICIENCIES ON THIS DRAWING.
- EASTERN ENGINEERING, P.C. IS BASED ON AN "ON-SITE" VISIT. THIS SKETCH REPRESENTS THE VISUAL CONDITION OF THE PREMISES AT THE TIME OF THE VISIT AND IS LIMITED TO THAT WHICH COULD BE SEEN AT THE TIME OF THE VISIT. IT DOES NOT INCLUDE MEASUREMENTS OF EXISTING SHELVING, WORKBENCHES, STORAGE BINS NOR AUTOMOTIVE TOOLS, EQUIPMENT OR APPARATUS; NOR DOES IT INCLUDE MEASUREMENTS OF AREAS WHICH WOULD HAVE REQUIRED EASTERN ENGINEERING, P.C. TO MOVE ITEMS OR OBSTRUCTIONS IMPEDING ACCESS TO ANY AREA WHICH, IN EASTERN ENGINEERING, P.C. OPINION IS HAZARDOUS OR MIGHT POTENTIALLY INJURE EASTERN ENGINEERING, P.C. EMPLOYEES, OTHER PERSONS, THE STRUCTURE OR ITS SYSTEMS.
- THE DESIGN DOCUMENTS AND ANY VERBAL PRESENTATIONS ARE NOT INTENDED, IMPLICITLY OR EXPLICITLY, AS A GUARANTY OR WARRANTY REGARDING THE CONDITION OF THE BUILDING AND/OR PROPERTY, AND SHOULD NOT BE RELIED UPON AS SUCH.
- ALL DIMENSIONS INDICATED ON PLANS ARE APPROXIMATE AND ARE REQUIRED TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- THIS SKETCH IS NOT AND DOES NOT CONSTITUTE AN "AS-BUILT" DRAWING AND SHOULD NOT BE RELIED UPON AS SUCH. THIS PLAN IS A GRAPHICAL REPRESENTATION OF OBSERVATIONS MADE DURING A SITE VISIT. ALL DIMENSIONS, MATERIAL SIZES, LOCATIONS, PHYSICAL IMPROVEMENTS MUST BE VERIFIED PRIOR TO USE OF ANY INFORMATION CONTAINED ON THIS SKETCH.
- DIMENSIONS AND EXISTING CONDITIONS DEPICTED ON THESE DRAWING DOCUMENT ARE BASED ON FIELD INFORMATION OBTAINED 2/16/99 AND ARE INTENDED TO ACT AS A CONCEPTUAL GUIDE ONLY. ALL DIMENSIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR AND ARCHITECT ARE REQUIRED TO FAMILIARIZE THEMSELVES WITH THE ACTUAL FIELD CONDITIONS AND DIMENSIONS PRIOR TO THE INITIAL DESIGN AND/OR CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCIES THAT SHOULD SUBSTANTIALLY AFFECT THE DESIGN OR BID. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY CONDITIONS THAT MAY EXIST UPON THE START OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF OTHERS TO DETERMINE IF THE EXISTING BUILDING'S STRUCTURE, ELECTRICAL, PLUMBING, ETC. MEET CURRENT LOCAL/STATE BUILDING CODES. IT IS THE RECOMMENDATION OF THIS OFFICE THAT THE CLIENT EMPLOY THE PROPER PROFESSIONALS TO THOROUGHLY INSPECT THIS BUILDING FOR STRUCTURAL INTEGRITY AND CODE COMPLIANCE.

## IMPORTANT NOTE:

CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-862-7862) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

## IMPORTANT NOTE:

IT IS UNDERSTOOD THAT "EASTERN ENGINEERING, P.C." HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN AND REVIEWS, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

## IMPORTANT NOTE:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

JAN 13 2000

By: *[Signature]*  
By: *[Signature]*

## Eastern Engineering, P.C.

A Division of The Tyree Organization, Ltd.

- Civil Engineers
- Environmental Engineers
- Municipal Engineers

Phone: (203) 740-9280

125 Commerce Drive  
BROOKFIELD, CT 06804

Fax: (203) 740-9444

FARMINGDALE, NY

WESTBOROUGH, MA

ALBANY, NY

EXISTING FLOOR PLAN

## EXISTING FLOOR PLAN

GETTY PETROLEUM CORPORATION

SS #58726

800 BLOOMING GROVE TPK.

NEW WINDSOR, NEW YORK

DRAWN BY: CN

CHECKED BY: DLV

DATE: 9/28/99

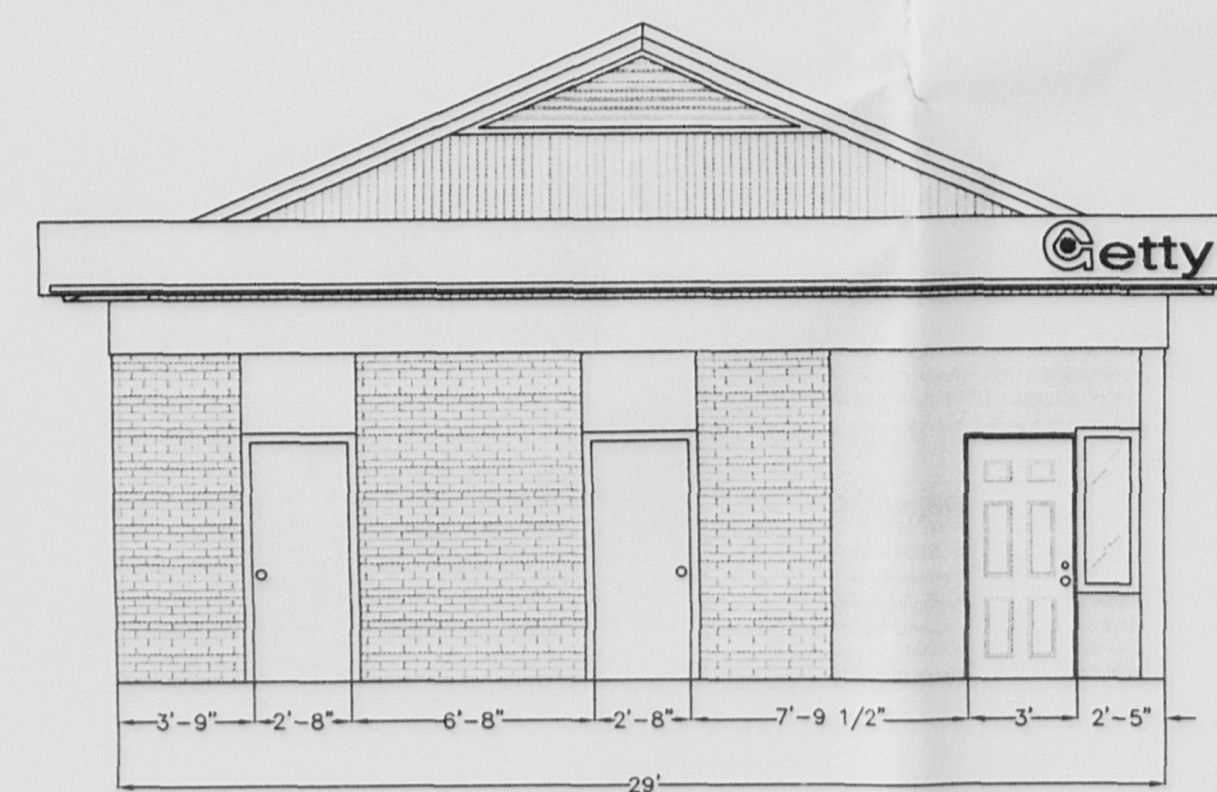
SCALE: 3/16"=1'-0"

DRAWING No: D99205EFP

PROJECT No: D99205

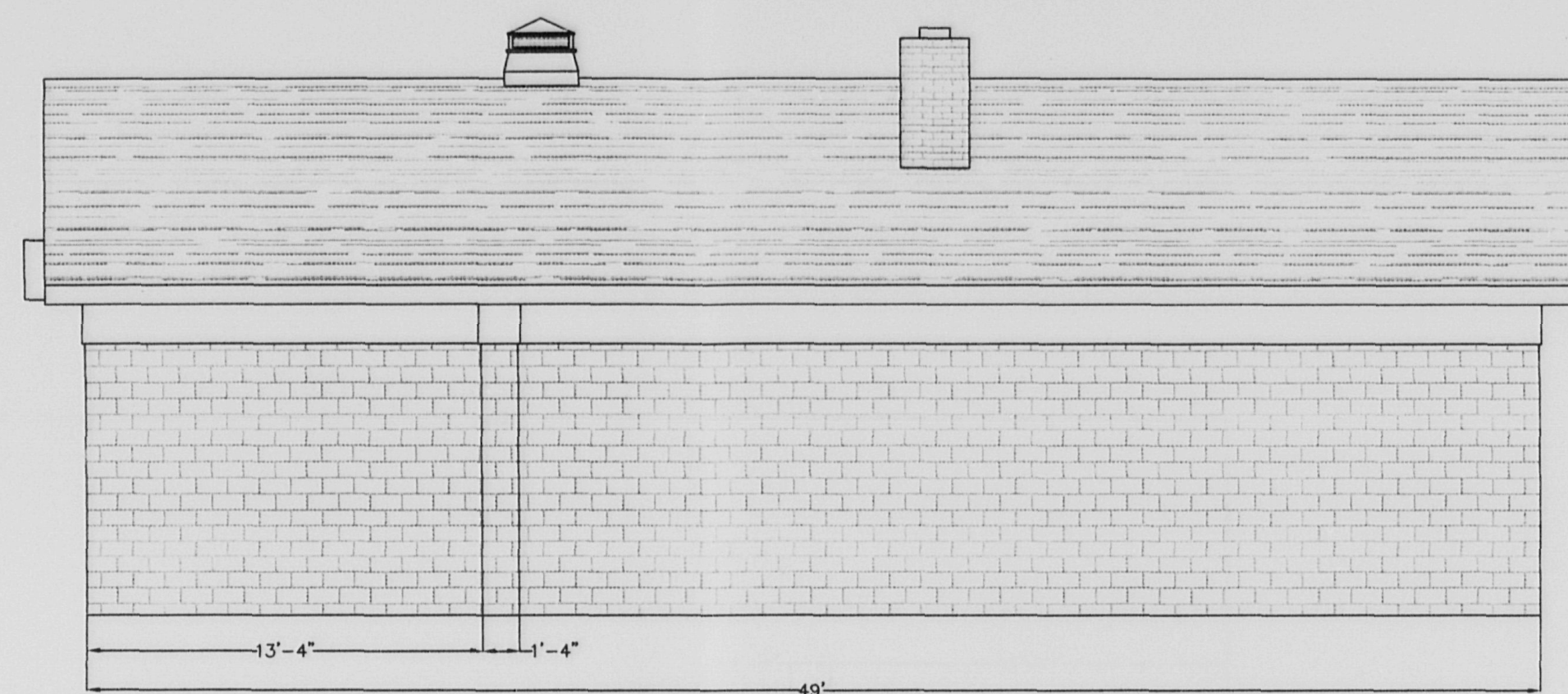
SHEET: 2





**SIDE ELEVATION**

SCALE : 3/16" = 1'-0"



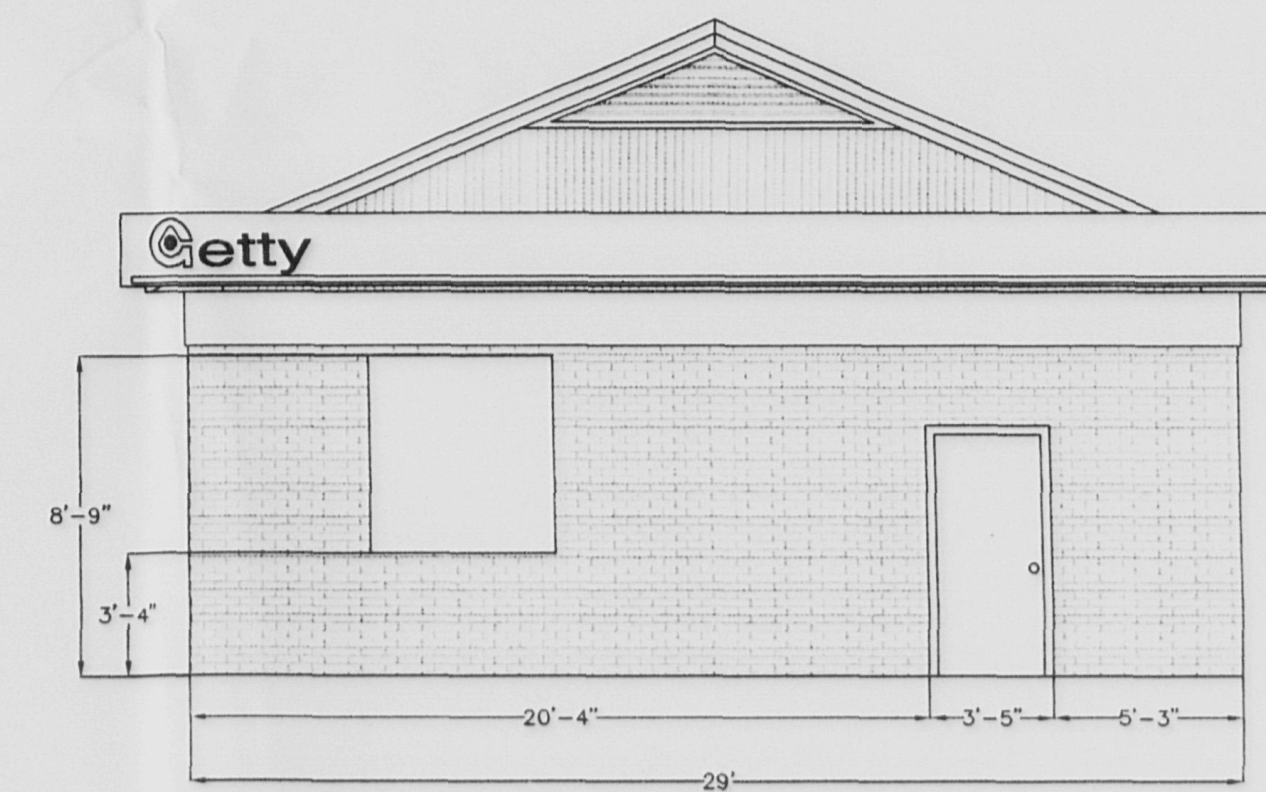
**REAR ELEVATION**

SCALE : 3/16" = 1'-0"



**FRONT ELEVATION**

SCALE : 3/16" = 1'-0"



**SIDE ELEVATION**

SCALE : 3/16" = 1'-0"

**NOTES:**

1. EASTERN ENGINEERING, P.C. HAS PERFORMED FIELD WORK, RECORDED FINDINGS AND RECOMMENDATIONS PREPARED IN ACCORDANCE WITH GENERALLY AND CURRENTLY ACCEPTED ENGINEERING PRINCIPLES AND PRACTICES BASED ON A VISUAL INVESTIGATION OF THE PREMISES.
2. EASTERN ENGINEERING, P.C. HAS BASED THE OVERALL CONCEPT OF ITS PORTION OF THE PROJECT ON ITS INTERPRETATION OF THE CLIENT'S NEEDS AND REQUIREMENTS. HOWEVER, EASTERN ENGINEERING, P.C. DOES NOT REPRESENT, IN ANY MANNER, THAT THE SUBJECT BUILDING/PROPERTY TO WHICH THIS SKETCH REFERS IS IN COMPLIANCE WITH, BUT NOT LIMITED TO, THE STATE OF NEW YORK BUILDING CODE, THE LIFE SAFETY CODE AND THE LOCAL ORDINANCES OF THE TOWN OF NEW WINDSOR.
3. EASTERN ENGINEERING, P.C. IS NOT AND WILL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OF THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS INCLUDING OSHA REQUIREMENTS, AND EASTERN ENGINEERING, P.C. IS NOT RESPONSIBLE FOR AND DOES NOT HAVE CONTROL OVER THE ACTS OF THE CONTRACTOR OR SUBCONTRACTORS.
4. THE CLIENT AND EASTERN ENGINEERING, P.C. UNDERSTAND AND AGREE THAT THE WORK PROPOSED IS THE RENOVATION OF AN EXISTING STRUCTURE AND THAT THE STRUCTURE MAY CONTAIN DEFECTS THAT ARE NOT VISIBLE AND/OR READILY APPARENT, AND THAT EASTERN ENGINEERING, P.C. IS NOT RESPONSIBLE FOR SUCH DEFICIENCIES, NOR RESPONSIBLE FOR INDICATING (OR NOT INDICATING) THESE DEFICIENCIES ON THIS DRAWING.
5. EASTERN ENGINEERING, P.C. IS BASED ON AN "ON-SITE" VISIT. THIS SKETCH REPRESENTS THE VISUAL CONDITION OF THE PREMISES AT THE TIME OF THE VISIT AND IS LIMITED TO THAT WHICH COULD BE SEEN AT THE TIME OF THE VISIT. IT DOES NOT INCLUDE MEASUREMENTS OF EXISTING SHELVING, WORKBENCHES, STORAGE BINS NOR AUTOMOTIVE TOOLS, EQUIPMENT OR APPARATUS; NOR DOES IT INCLUDE MEASUREMENTS OF AREAS WHICH WOULD HAVE REQUIRED EASTERN ENGINEERING, P.C. TO MOVE ITEMS OR OBSTRUCTIONS IMPEDING ACCESS TO ANY AREA WHICH, IN EASTERN ENGINEERING, P.C. OPINION IS HAZARDOUS OR MIGHT POTENTIALLY INJURE EASTERN ENGINEERING, P.C. EMPLOYEES, OTHER PERSONS, THE STRUCTURE OR ITS SYSTEMS.
6. THE DESIGN DOCUMENTS AND ANY VERBAL PRESENTATIONS ARE NOT INTENDED, IMPLICITLY OR EXPLICITLY, AS A WARRANTY OR WARRANTY REGARDING THE CONDITION OF THE BUILDING AND/OR PROPERTY, AND SHOULD NOT BE RELIED UPON AS SUCH.
7. ALL DIMENSIONS INDICATED ON PLANS ARE APPROXIMATE AND ARE REQUIRED TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
8. THIS SKETCH IS NOT AND DOES NOT CONSTITUTE AN "AS-BUILT" DRAWING AND SHOULD NOT BE RELIED UPON AS SUCH. THIS PLAN IS A GRAPHICAL REPRESENTATION OF OBSERVATIONS MADE DURING A SITE VISIT. ALL DIMENSIONS, MATERIAL SIZES, LOCATIONS, PHYSICAL IMPROVEMENTS MUST BE VERIFIED PRIOR TO USE OF ANY INFORMATION CONTAINED ON THIS SKETCH.
9. DIMENSIONS AND EXISTING CONDITIONS DEPICTED ON THESE DRAWING DOCUMENT ARE BASED ON FIELD INFORMATION OBTAINED 2/16/99 AND ARE INTENDED TO ACT AS A CONCEPTUAL GUIDE ONLY. ALL DIMENSIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR AND ARCHITECT ARE REQUIRED TO FAMILIARIZE THEMSELVES WITH THE ACTUAL FIELD CONDITIONS AND DIMENSIONS PRIOR TO THE INITIAL DESIGN AND/OR CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE PROJECT MANAGER OF ANY DISCREPANCIES THAT SHOULD SUBSTANTIALLY AFFECT THE DESIGN OR BID. THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR ANY CONDITIONS THAT MAY EXIST UPON THE START OF CONSTRUCTION.
10. IT IS THE RESPONSIBILITY OF OTHERS TO DETERMINE IF THE EXISTING BUILDING'S STRUCTURE, ELECTRICAL, PLUMBING, ETC. MEET CURRENT LOCAL/STATE BUILDING CODES. IT IS THE RECOMMENDATION OF THIS OFFICE THAT THE CLIENT EMPLOY THE PROPER PROFESSIONALS TO THOROUGHLY INSPECT THIS BUILDING FOR STRUCTURAL INTEGRITY AND CODE COMPLIANCE.

**IMPORTANT NOTE:**  
CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-962-7862) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

**IMPORTANT NOTE:**  
IT IS UNDERSTOOD THAT "EASTERN ENGINEERING, P.C." HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN AND REVIEWS, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

**IMPORTANT NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

REV. DATE COMMENT

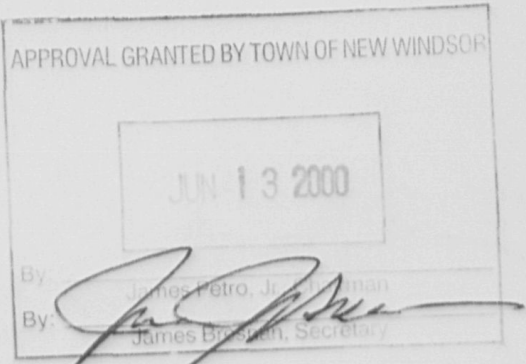
*Signature*  
12-20-99

**Eastern Engineering, P.C.**

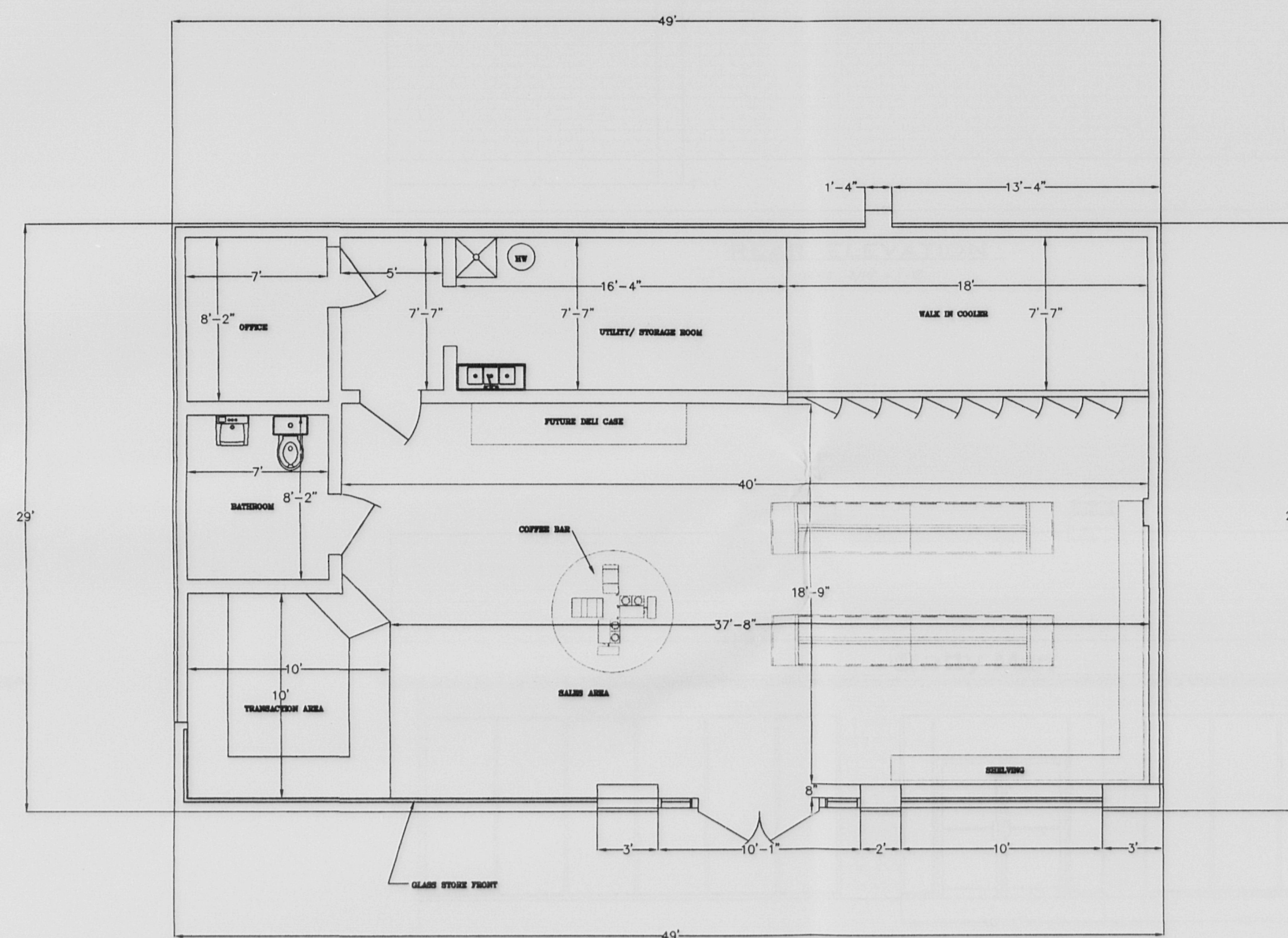
A Division of The Tyree Organization, Ltd.

• Civil Engineers • Environmental Engineers • Municipal Engineers • Project Managers • Site Planners • Permit Expeditors •  
Phone: (203) 740-9280 125 Commerce Drive FAX: (203) 740-9444  
FARMINGDALE, NY BROOKFIELD, CT 06804 ALBANY, NY  
WESTBOROUGH, MA

EXISTING ELEVATION PLAN	DRAWN BY: CN
EXISTING ELEVATION PLAN	CHECKED BY: DLV
GETTY PETROLEUM CORPORATION	DATE: 9/28/99
SS #58726	SCALE: 3/16"=1'-0"
800 BLOOMING GROVE TNP.	DRAWING No: D99205EFP
NEW WINDSOR, NEW YORK	PROJECT No: D99205
	SHEET: 3







**IMPORTANT NOTE:**  
CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-482-7862) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

**IMPORTANT NOTE:**  
IT IS UNDERSTOOD THAT "EASTERN ENGINEERING, P.C." HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN AND REVIEWS, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

**IMPORTANT NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

DATE COMMENT  
12-20-99

FOR PICTORIAL PURPOSES ONLY  
NOT FOR CONSTRUCTION

APPROVAL GRANTED BY TOWN OF  
JAN 13 2000  
By: [Signature]  
By: [Signature]

### Eastern Engineering, P.C.

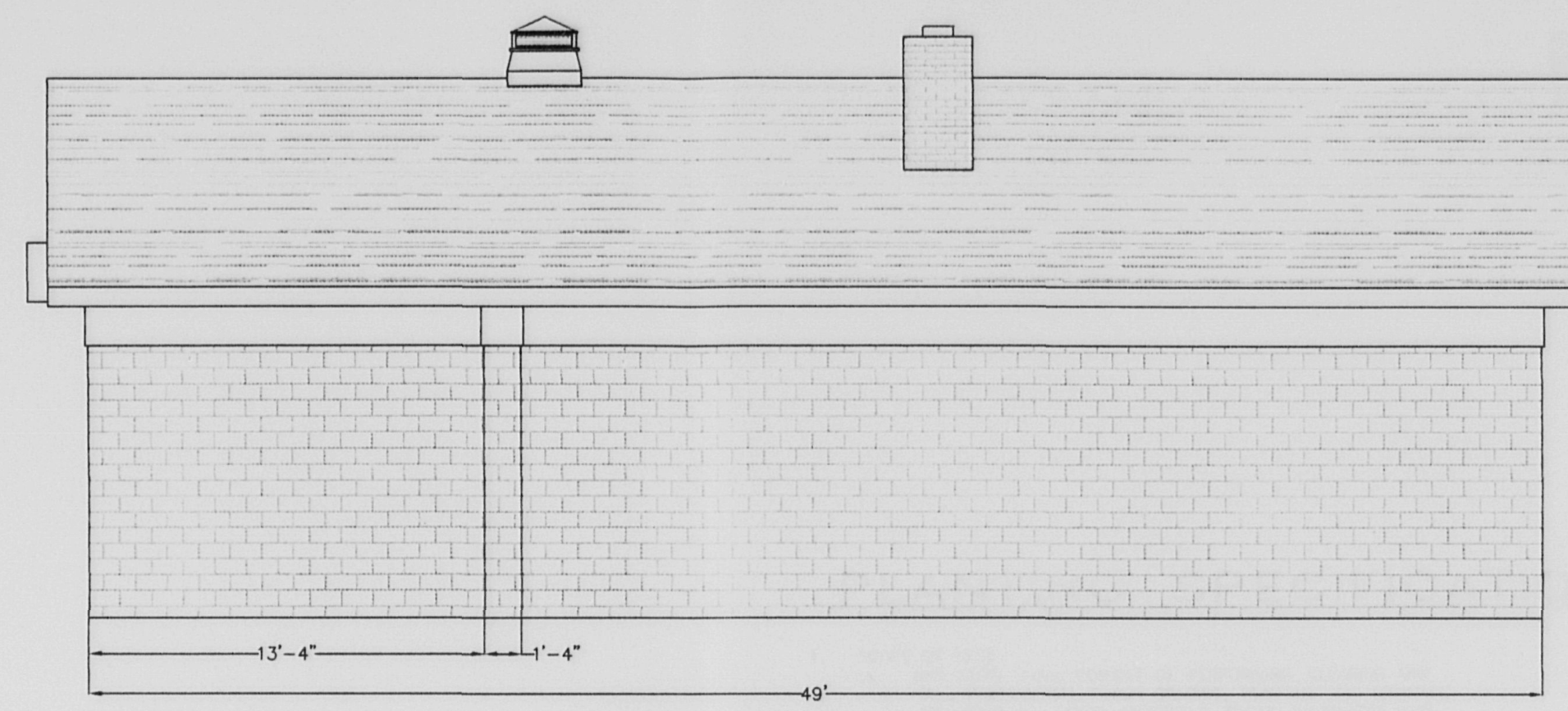
A Division of The Tyree Organization, Ltd.

• Civil Engineers	Project Managers •
• Environmental Engineers	Site Planners •
• Municipal Engineers	Permit Expeditors •

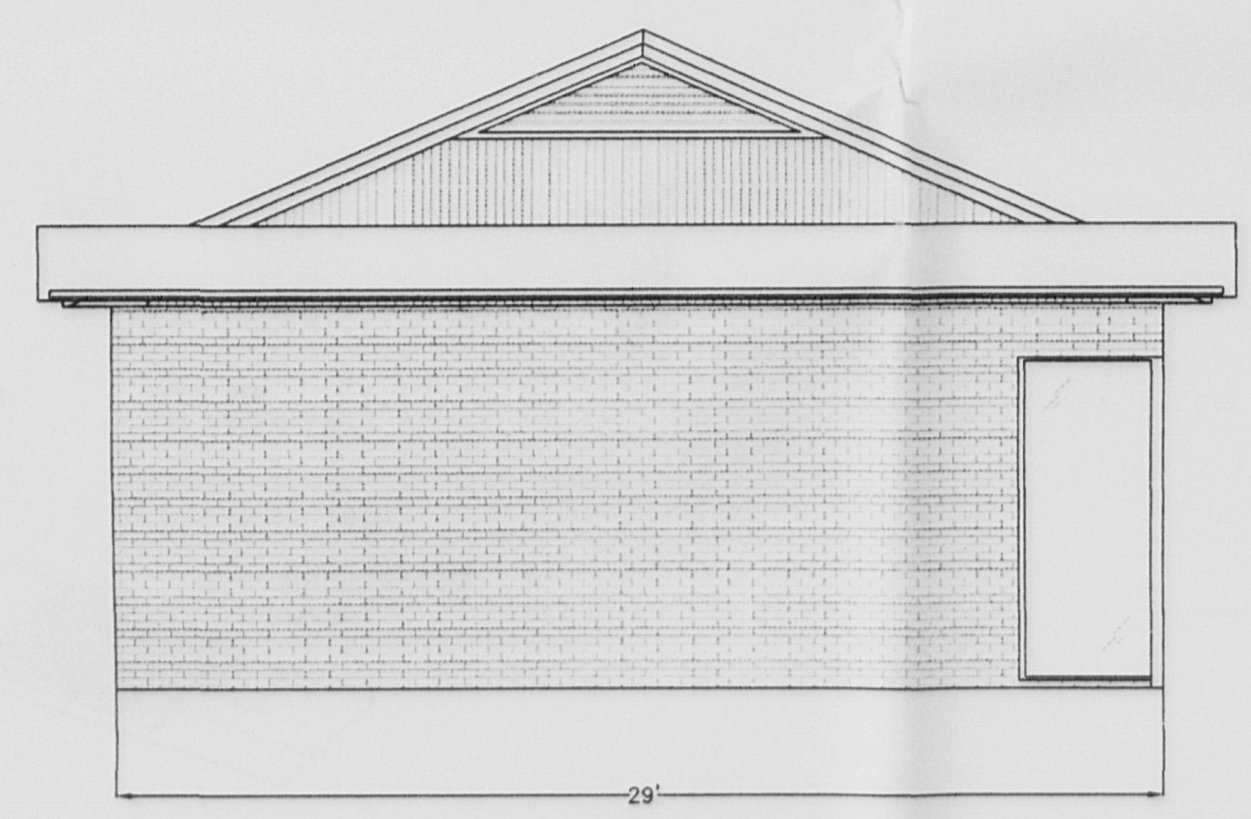
Phone: (203) 740-9280 125 Commerce Drive  
FARMINGDALE, NY 11735 BROOKFIELD, CT 06804  
Fax: (203) 740-9444

PROPOSED FLOOR PLAN	DRAWN BY: CN
PROPOSED FLOOR PLAN	CHECKED BY: DLV
GETTY PETROLEUM CORPORATION	DATE: 9/28/99
SS #58726	SCALE: 3/16"=1'-0"
800 BLOOMING GROVE TPK.	DRAWING No: D99205PFP
NEW WINDSOR, NEW YORK	PROJECT No: D99205
	SHEET: 4





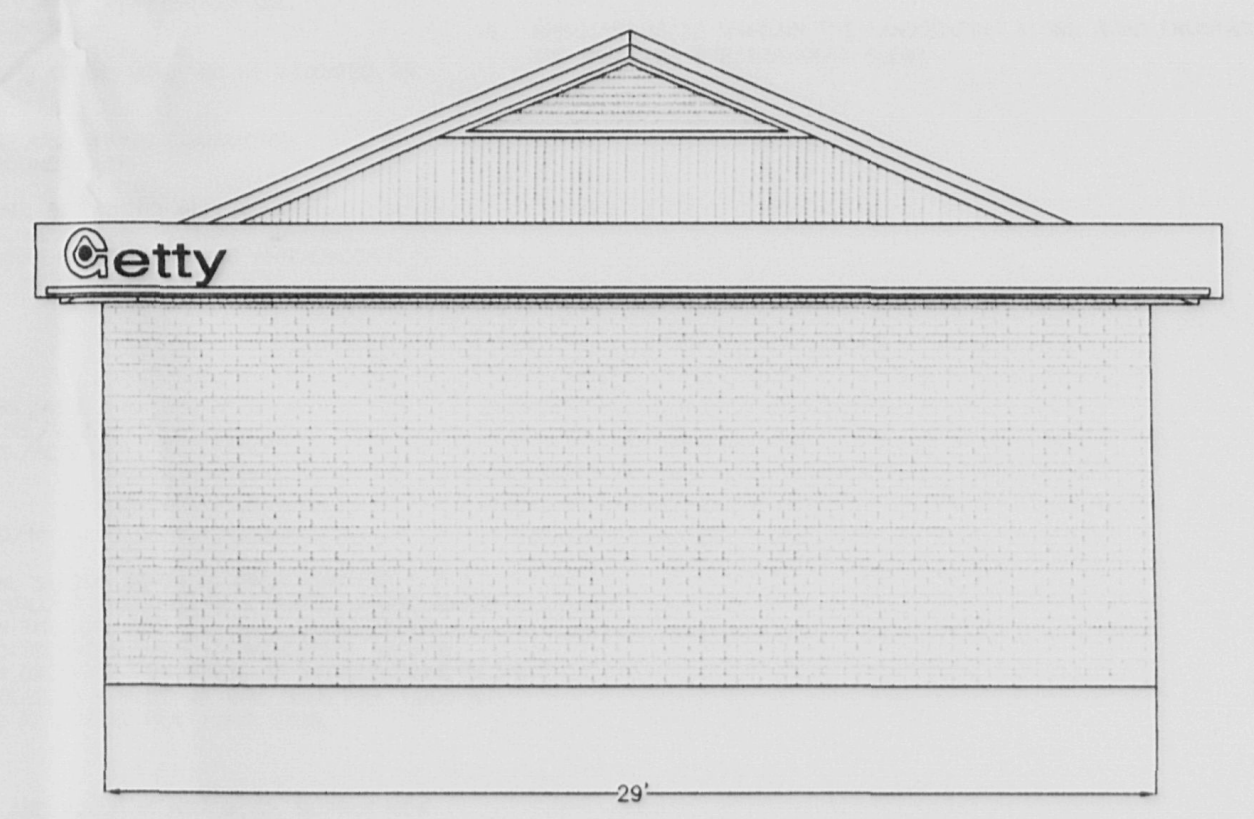
REAR ELEVATION  
SCALE : 3/16" = 1'-0"



SIDE ELEVATION  
SCALE : 3/16" = 1'-0"



FRONT ELEVATION  
SCALE : 3/16" = 1'-0"



SIDE ELEVATION  
SCALE : 3/16" = 1'-0"

SIGNAGE TABLE					
QUANTITY	DESCRIPTION	AREA (S.F.)		TYPE	
		EXISTING SIGNAGE	CL. TO REMAIN		
1	GETTY MART		12.3 S.F.	B	
2	GETTY	11.30 S.F.	11.30 S.F.	B	
1	AUTOMOTIVE SERVICE	18.75 S.F.		B	
TOTALS:		30.05 S.F.	23.60 S.F.		

B - BUILDING MOUNTED

**IMPORTANT NOTE:**  
CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-962-7862) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR DEMONATION ON THE SITE.

**IMPORTANT NOTE:**  
IT IS UNDERSTOOD THAT "EASTERN ENGINEERING, P.C." HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN AND REVIEWS, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

**IMPORTANT NOTE:**  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

APPROVAL GRANTED BY TOWN OF NEW WINDSOR  
JAN 13 2000  
By: *[Signature]*  
By: *[Signature]*

FOR PICTORIAL PURPOSES ONLY  
NOT FOR CONSTRUCTION

**Eastern Engineering, P.C.**  
A Division of The Tyree Organization, Ltd.

• Civil Engineers  
• Environmental Engineers  
• Municipal Engineers

Phone: (203) 740-9280    125 Commerce Drive  
BROOKFIELD, CT 06804

FARMINGDALE, NY    WESTBOROUGH, MA    ALBANY, NY

Project Managers •  
Site Planners •  
Permit Expeditors •

Fax: (203) 740-9444

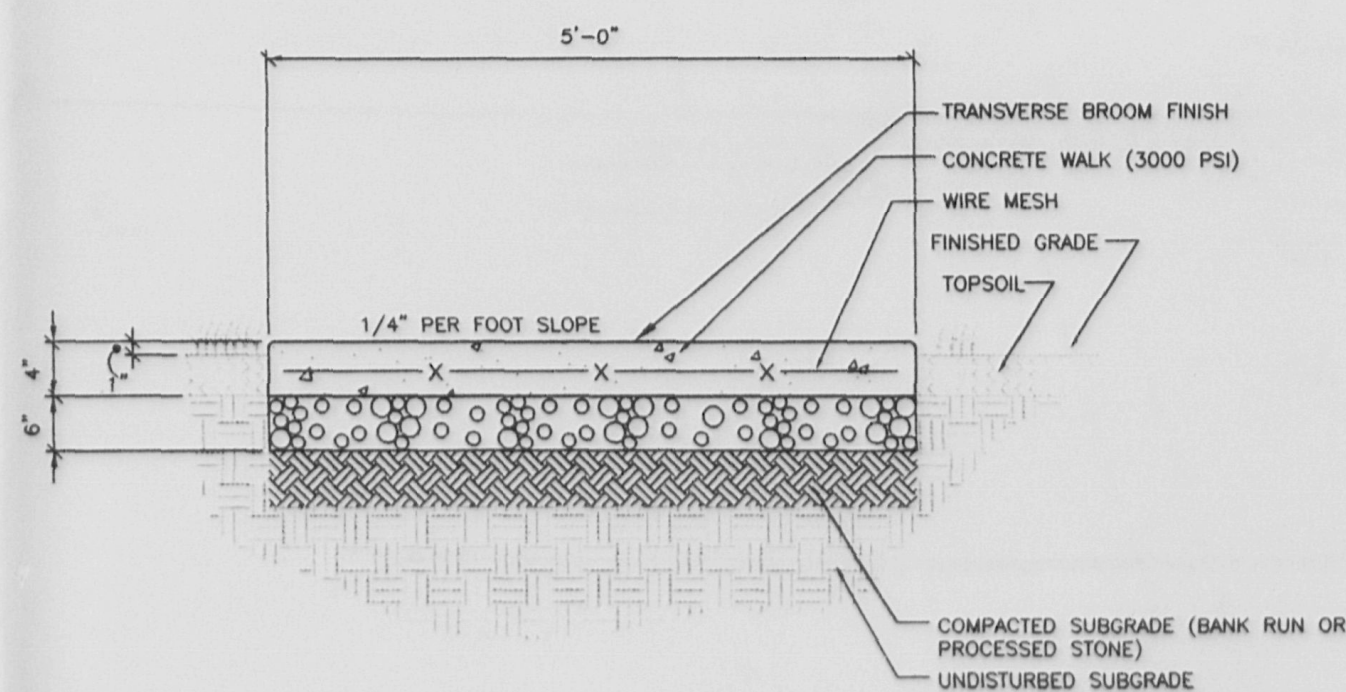
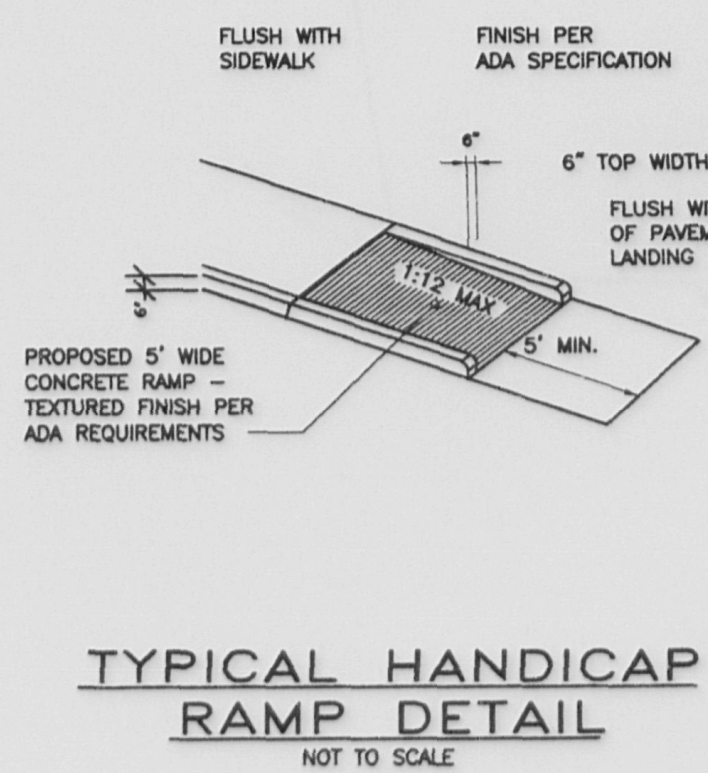
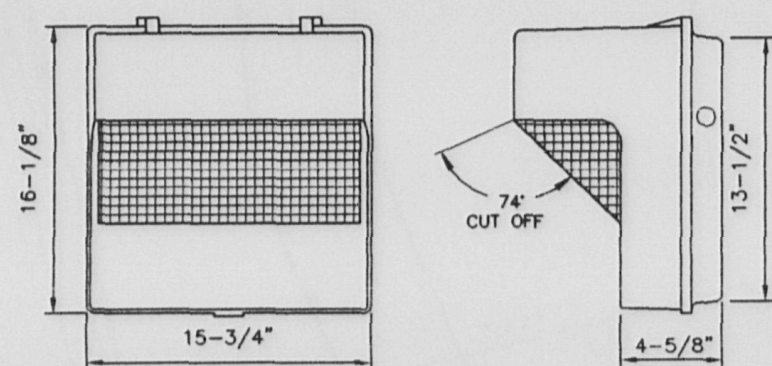
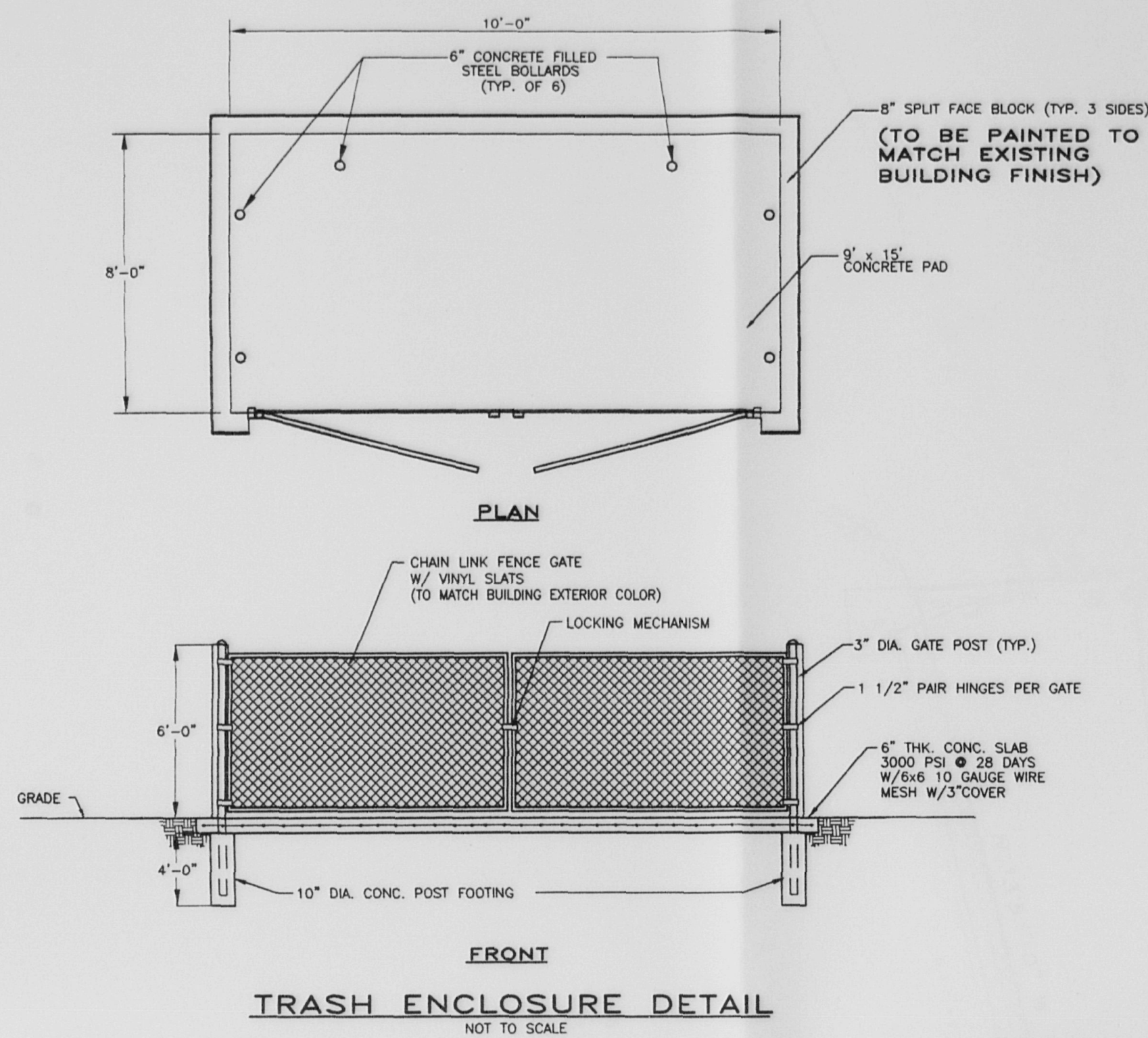
PROPOSED ELEVATION PLAN

**PROP. ELEVATION PLAN**

GETTY PETROLEUM CORPORATION  
SS #58726  
800 BLOOMING GROVE TPK.  
NEW WINDSOR, NEW YORK

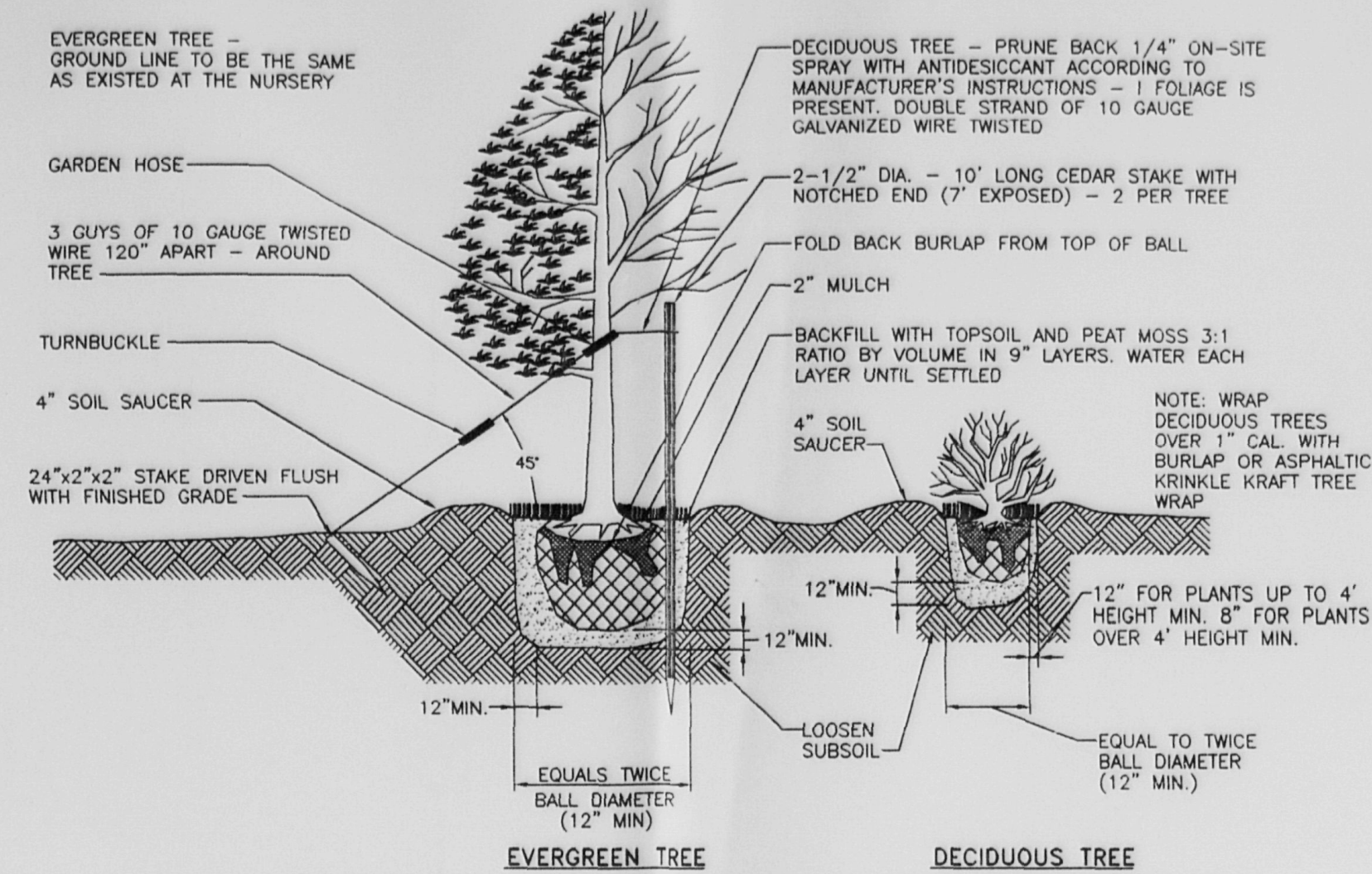
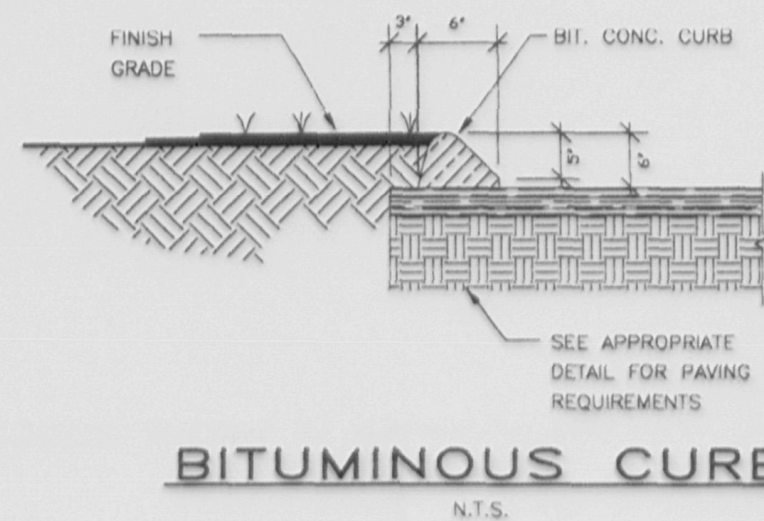
DRAWN BY: CN  
CHECKED BY: DLV  
DATE: 9/28/99  
SCALE: 3/16"=1'-0"  
DRAWING No: D99205PEP  
PROJECT No: D99205  
SHEET: 5





#### GENERAL NOTES:

SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK. CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES. CONTRACTION JOINTS SHALL BE SPACED EQUAL TO THE WIDTH (5')



#### PLANTING SPECIFICATIONS

- SCOPE OF WORK
  - THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE, INCLUDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT.
  - TOPSOIL-A SOIL ANALYSIS REPORT SHALL BE SUBMITTED AND SHOW THE PERCENTAGE OF EACH CONSTITUENT, pH, AND OTHER PERTINENT SOIL CHARACTERISTICS. RECOMMENDATIONS SHOULD INCLUDE QUANTITIES OF EACH SOIL AMENDMENT AND FERTILIZER REQUIRED TO ACHIEVE OPTIMUM SOIL CONDITIONS.
  - PLANTING SCHEDULE-ALL PLANT MATERIAL SHALL BE PLANTED NO EARLIER THAN APRIL 15, AND MAY CONTINUE THROUGH MAY 15, OR BEGIN AUGUST 15, BUT CONTINUE NO LATER THAN DECEMBER 1, OR UNTIL GROUND FREEZES. DO NOT INSTALL PLANT MATERIALS WHEN TEMPERATURES ARE BELOW 35 DEGREES FAHRENHEIT OR ABOVE 90 DEGREES FAHRENHEIT.
- MATERIALS
  - GENERAL - ALL MATERIALS SHALL BE BEST OF ITS KIND AVAILABLE. DO NOT BEGIN SOIL PREPARATION AND PLANTING UNTIL IRRIGATION (IF IRRIGATION SYSTEM IS INDICATED ON THE PLAN) WORK AROUND PLANTING AREAS IS COMPLETE AND APPROVED.
  - PLANTS - ALL PLANTS SHALL BE HEALTHY, OF NORMAL GROWTH, WELL ROOTED, FREE FROM DISEASE AND INSECTS. QUALITY AND SIZE OF PLANT MATERIAL SHALL CONFORM TO THE NATIONAL AND STATE OF GRADING CODE OF NURSERY STOCK AND BE OF NUMBER ONE GRADE-PLANT MATERIAL PROVIDED MUST COMPLY WITH ANSI Z601.
  - FERTILIZER AND SOIL AMENDMENTS
    - LIME-PULVERIZED DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85% TOTAL CARBONATES WITH A MINIMUM OF 30 %MAGNESIUM CARBONATES; MINIMUM 90% PASSING A 10-MESH SIEVE AND MINIMUM 50% PASSING A 100-MESH SIEVE.
    - PEAT HUMUS-SHALL BE DECOMPOSED PEAT, pH SUITABLE FOR INTENDED USE. SAND-SHALL BE CLEAN WASHED SAND FREE OF TOXIC MATERIALS.
    - PERLITE-HORTICULTURAL PERLITE OF SOIL AMENDMENT GRADE.
  - COMMERCIAL FERTILIZER-GRANULAR, COMMERCIAL GRADE, pH NEUTRAL COMPRISED OF BOTH SLOW AND FAST RELEASE ELEMENTS AND CONTAINING THE FOLLOWING MINIMUM CONTENT OF AVAILABLE PLANT NUTRIENTS:
    - TREES AND SHRUBS-5% TOTAL NITROGEN, 10% PHOSPHORIC ACID, 5% SOLUBLE POTASH.
    - GROUND COVER-3% TOTAL NITROGEN, 10% PHOSPHORIC ACID, 5% SOLUBLE POTASH.
    - LAWNS-AVAILABLE NITROGEN CONTENT AS REQUIRED TO PROVIDE 1 POUND PER 1,000 SQUARE FEET AT NORMAL APPLICATION RATE, MINIMUM 4% PHOSPHORIC ACID, AND A MINIMUM 2% SOLUBLE POTASH.
- GENERAL WORK PROCEDURES
  - LANDSCAPE WORK SHALL BE ACCORDING TO THE A.A.N. (AMERICAN ASSOCIATION OF NURSERYMEN) STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANTING.
- WEEDING
  - BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- SOIL CONDITIONING
  - CULTIVATE ALL AREAS TO BE PLANTED TO A DEPTH OF 6". ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF AT THE CONTRACTOR'S EXPENSE.
- PLANTING
  - POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
  - PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH WITH TWICE THE DIAMETER OF ROOT BALL AND 6" DEEPER THAN THE DEPTH OF ROOT BALL. ALL EXCAVATED SUBSOIL FROM THE SITE SHALL BE MIXED WITH APPROPRIATE VOLUMES OF SOIL AMENDMENTS AS RECOMMENDED BY SOIL ANALYSIS LABORATORY REPORT AS INDICATED ON PLANS PRIOR TO USE AS PLANTING BACKFILL.
  - PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PIT.
- GROUND COVER
  - ALL GROUND COVER AREAS SHALL RECEIVE A 1/4" LAYER OF NITROGENS: BASED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING GROUND COVER.
  - SPACING AND VARIETY OF GROUND COVER SHALL BE AS INDICATED ON DRAWINGS.
  - IMMEDIATELY AFTER PLANTING GROUND COVER, CONTRACTOR SHALL THOROUGHLY WATER GROUND COVER.
  - ALL GROUND COVER AREAS SHALL BE TREATED WITH A ANTIDISCICANT BEFORE FINAL LANDSCAPE INSPECTION. GROUND COVER AREAS SHALL BE WEDED PRIOR TO APPLYING ANTIDISCICANT. ANTIDISCICANT TO BE APPLIED AS PER MANUFACTURER'S RECOMMENDATION.
- SEEDING
  - SEED MIXTURE
    - KENTUCKY BLUEGRASS - 20 LBS./ACRE
    - CREeping RED FESCUE - 20 LBS./ACRE
    - PERENNIAL RYEGRASS - 5 LBS./ACRE
  - SEEDING DATES
    - 3/15 TO 5/15
    - 8/15 TO 10/15
  - APPLY SEED UNIFORMLY. NORMAL SEEDING DEPTH IS FROM 1/8" TO 1/4". HYDROSEEDINGS (INCLUDING FERTILIZER AND SEED IN A SLURRY FORM) WHICH ARE MULCHED MAY BE LEFT ON THE SOIL SURFACE. SOIL CONSERVATION DISTRICT CAN REQUIRE SPECIFIC TECHNIQUES FOR HYDROSEEDING AND/OR HYDROMULCHING IN AREAS WITH DROUGHTY CONDITIONS. IF HYDROSEEDING IS NOT PERFORMED, STRAW MULCH SHOULD BE APPLIED AT ONE BALE PER 1,000 S.F. WITH NON-ASPHALTIC EMULSION AT 25 LBS. PER 1,000 SYDS.
- IRRIGATION - (WHERE FEASIBLE)
  - IF SOIL MOISTURE IS DEFICIENT AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER, A MINIMUM OF 1/4" TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED. ESPECIALLY WHEN SEEDING IS PERFORMED IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
- FINISH GRADING
  - ALL AREAS WILL BE RECEIVED BY THE CONTRACTOR AT SUBSTANTIALLY PLUS/MINUS .1 FOOT OF FINISH GRADE.
  - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE. SOIL AREAS ADJACENT TO THE BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS.
  - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER.
  - DECORATIVE MULCH (TWICE SHREDDED HARDWOOD MULCH) - APPLY A UNIFORM THREE INCH (3") THICK LAYER OF MULCH IN THE FOLLOWING AREAS: INDIVIDUAL PLANTING PITS AND PLANTING BEDS. DURING THE MAINTENANCE AND WARRANTY PERIOD, THE CONTRACTOR IS REQUIRED TO APPLY NEW MULCH AS NECESSARY DUE TO EROSION, SETTLING OR AS REQUIRED BY THE LANDSCAPE ARCHITECT. WORK MULCH INTO TOP OF PLANTING SOIL BACKFILL. FINISH LEVEL WITH ADJACENT GRADE.
- GUARANTEE
  - CONTRACTOR SHALL GUARANTEE ALL PLANTS MATERIAL FOR A PERIOD OF ONE (1) YEAR.
- CLEAN-UP
  - UPON THE COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM HIS WORK. ALL PAVED AREAS SHALL BE BROOM CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.

#### IMPORTANT NOTE:

CONTRACTOR IS TO CONTACT THE "UNDERGROUND FACILITY PROTECTIVE ORGANIZATION" (1-800-462-7462) TO HAVE ALL EXISTING UTILITIES LOCATED AND MARKED PRIOR TO ANY DEMOLITION, CONSTRUCTION OR EXCAVATION ON THE SITE.

#### IMPORTANT NOTE:

IT IS UNDERSTOOD THAT "EASTERN ENGINEERING, P.C." HAS NOT BEEN RETAINED FOR THE REVIEW OF THE IMPLEMENTATION OF THE DESIGN AND REVIEWS, AND OBSERVATION OF CONSTRUCTION. THE OWNER SHALL EMPLOY UNDER SEPARATE CONTRACT FOR SUCH SERVICE AS REQUIRED.

#### IMPORTANT NOTE:

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

#### Eastern Engineering, P.C.

A Member of the Tyree Consulting Group

Lawrence LePere, P.E.

- Civil Engineers
- Environmental Engineers
- Municipal Engineers

Phone: (203) 740-9280

125 Commerce Drive  
BROOKFIELD, CT 06804

Fax: (203) 740-9444

FARMINGDALE, NY

WESTBROOKFIELD, MA

ALBANY, NY

CONVERSION TO GETTY MART

#### DETAILS

GETTY PETROLEUM CORPORATION

SS #58726

800 BLOOMING GROVE TNP  
NEW WINDSOR, NEW YORK

DRAWN BY: D.W.B.

CHECKED BY: DLV

DATE: 12/16/99

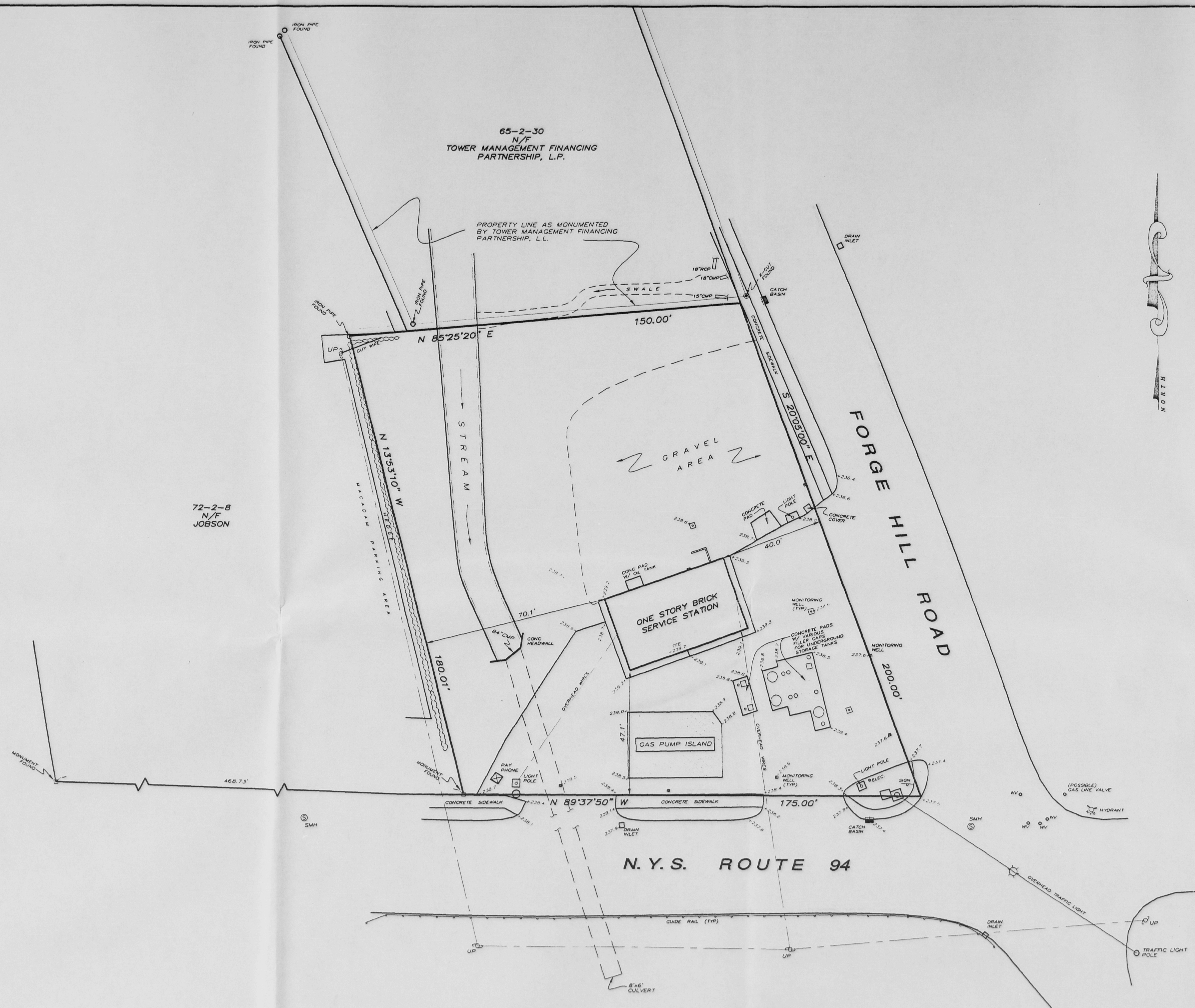
SCALE: AS NOTED

DRAWING No: D99205SD

PROJECT No: D99205

SHEET: 6





72-2-8  
N/F  
JOBSON

65-2-30  
N/F  
TOWER MANAGEMENT FINANCING  
PARTNERSHIP, L.P.

PROPERTY LINE AS MONUMENTED  
BY TOWER MANAGEMENT FINANCING  
PARTNERSHIP, L.L.

GRAVEL  
AREA

ONE STORY BRICK  
SERVICE STATION

GAS PUMP ISLAND

N.Y.S. ROUTE 94

FORGE HILL ROAD



TAX LOT: 65-2-32  
AREA: 29,721 SF  
(0.68 ACRES)

# Survey of Property PREPARED FOR

TYREE ENGINEERING, PC

SITUATE IN THE  
TOWN OF NEW WINDSOR  
ORANGE COUNTY, NEW YORK  
SCALE: 1"=20'

THIS IS TO CERTIFY THAT THE SURVEY ON WHICH  
THIS MAP IS BASED WAS COMPLETED 3/10/99  
AND THAT THIS MAP WAS COMPLETED 3/17/99  
IT IS HEREBY CERTIFIED THAT THIS SURVEY WAS  
PREPARED BY ME, AND IN ACCORDANCE WITH THE  
EXISTING CODE OF PRACTICE FOR LAND SURVEYS  
ADOPTED BY THE "NEW YORK STATE ASSOCIATION  
OF PROFESSIONAL LAND SURVEYORS"

CERTIFICATIONS HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE  
WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK  
STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL  
RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO  
THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON,  
AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT  
TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR TO SUBSEQUENT OWNERS.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND  
SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW  
YORK STATE EDUCATION LAW.

UNDERGROUND EASEMENTS, STRUCTURES AND/OR ENCROACHMENTS, IF ANY, NOT SHOWN HEREON.  
ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE  
LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE  
VALID TRUE COPIES.



*Jeffrey Hecker*  
JEFFREY HECKER, L.S., NYS #50235

**ZARECKI & ASSOCIATES, LLC**  
CONSULTING ENGINEERS / LAND SURVEYORS  
PAWLING, NY & RIDGEFIELD, CT  
(914) 855-3771

ELEVATIONS SHOWN IN APPROXIMATE U.S.G.S. DATUM.

99018

APPROVAL GRANTED BY TOWN OF NEW WINDSOR

13 2000

By: *[Signature]*  
Date: *[Signature]*